

Public Document Pack



PLANNING COMMITTEE

Tuesday, 19th July, 2016 at 7.30 pm
Venue: Conference Room,
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

Contact: Jane Creer / Metin Halil
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MEMBERS

Councillors : Toby Simon (Chair), Dinah Barry, Derek Levy, Ahmet Hasan, Jansev Jemal, George Savva MBE, Jason Charalambous, Dogan Delman, Christine Hamilton, Anne-Marie Pearce, Jim Steven and Katherine Chibah

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 18/07/16

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE 28 JUNE 2016** (Pages 1 - 4)

To receive the minutes of the Planning Committee meeting held on Tuesday 28 June 2016.

- 4. REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 52)** (Pages 5 - 6)

To receive the covering report of the Assistant Director, Planning, Highways and Transportation.

4.1 Applications dealt with under delegated powers. (A copy is available in the Members' Library).

5. 15/05727/RE4 - GARAGES, PERRY MEAD, ENFIELD, EN2 8BP (Pages 7 - 54)

RECOMMENDATION: Approval in accordance with Regulation 3/4 of the Town & Country Planning General Regulations 1992 subject to conditions and Unilateral Undertaking

WARD: Highlands

6. 15/01063/FUL - BRIMSDOWN SPORTS CLUB, GOLDSDOWN ROAD, ENFIELD, EN3 7RP (Pages 55 - 92)

RECOMMENDATION: Approval subject to conditions

WARD: Enfield Highway

7. 16/01832/FUL - CHASE FARM HOSPITAL, THE RIDGEWAY, ENFIELD, EN2 6JL (Pages 93 - 126)

RECOMMENDATION: Approval in accordance with Regulation 3/4 of the Town & Country Planning General Regulations 1992 subject to conditions and a deed of variation to the existing s106 to reflect the subject consent

WARD: Highlands

8. 15/04513/FUL - MONMOUTH ROAD CAR PARK, 35-36 NORTH SQUARE AND NORTH MALL, EDMONTON SHOPPING CENTRE, LONDON (Pages 127 - 162)

RECOMMENDATION: That upon completion of the s106 Legal Agreement, the Head of Development Management / Planning Decisions Managers be authorised to grant planning permission subject to conditions

WARD: Edmonton Green

9. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

PLANNING COMMITTEE - 28.6.2016

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 28 JUNE 2016**

COUNCILLORS

PRESENT Toby Simon, Dinah Barry, Derek Levy, Ahmet Hasan, Jansev Jemal, George Savva MBE, Jason Charalambous, Dogan Delman, Christine Hamilton, Anne-Marie Pearce, Jim Steven and Katherine Chibah

ABSENT Bob Griffiths (Assistant Director – Planning, Highways & Transportation).

OFFICERS: Andy Higham (Head of Development Management), Sharon Davidson (Planning Decisions Manager), Dominic Millen (Group Leader – Transportation), Andy Bates (Planning Decisions Manager, Kevin Tohill (Planning Decisions Manager) and Metin Halil (Secretary)

Also Attending: Approximately 15 members of the public, applicant and agent representatives
Dennis Stacey, Chairman – Conservation Advisory Group

33**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence were received from Bob Griffiths, Assistant Director of Planning, Highways & Transportation.

34**DECLARATION OF INTERESTS**

There were no declarations of interest.

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**MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 24 MAY
2016**

AGREED the minutes of the Planning Committee meeting held on 24 May 2016 as a correct record.

PLANNING COMMITTEE - 28.6.2016

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REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 43)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 43).

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15/05222/HOU - 47 MEADWAY, LONDON, N14 6NJ

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposals.
2. The statement of Mr Dennis Stacey (Chair – Conservation Advisory Group) outlining the group's objections to both the original drawings and the revised drawings.
3. The response by the applicant's architect.
4. Members' debate and questions responded to by officers including which properties around the development had been consulted and the number of inappropriate extensions that had been built in the immediate area.
5. The concern of some members that the first floor extension would block views, be somewhat unsightly and hence detrimental to the conservation area.
6. The officers' recommendation was supported by a majority of the committee: 8 votes for and 4 votes against.

AGREED that planning permission be granted, subject to the conditions set out in the report.

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15/01063/FUL - BRIMSDOWN SPORTS CLUB, GOLDSOWN ROAD, EN3 7RP

RESOLVED

1. To defer consideration of the application in order to allow a Members site visit to take place on Saturday 9th July 2016.

Reason for site visit: to appreciate the impact of the bunding/ noise/ privacy issues associated with an intensification of use.

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PLANNING COMMITTEE - 28.6.2016

16/01197/RE3 - MERIDIAN WATER, WILLOUGHBY LANE AND MERIDIAN WAY, LONDON

NOTED

1. The introduction by the Planning Decisions Manager, Sharon Davidson, clarifying the proposals.
2. Members' debate and questions responded to by officers, including the need for new health facilities to accommodate 8,000 new homes and the 25% provision of affordable housing, though some members hoped that the overall development should achieve 30%..
3. The unanimous support of the committee for the officers' recommendation.

AGREED that subject to referral to the Greater London Authority, the Head of Development Management / Planning Decisions Manager be authorised to Grant planning permission subject to the conditions set out in the report.

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MUNICIPAL YEAR 2016/2017 - REPORT NO **52**

COMMITTEE:
PLANNING COMMITTEE
19.07.2016

AGENDA - PART 1	ITEM 4
SUBJECT -	
MISCELLANEOUS MATTERS	

REPORT OF:
Assistant Director, Planning,
Highways and Transportation

Contact Officer:
Planning Decisions Manager
Sharon Davidson Tel: 020 8379 3841

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 257 applications were determined between 17/06/2016 and 18/07/2016, of which 193 were granted and 64 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 19th July 2016

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Andy Higham Tel: 020 8379 3848
Andy Bates Tel: 020 8379 3004
Robert Singleton Tel: 020 8379
3837

Ward: Highlands

Application Number : 15/05727/RE4

Category: Dwellings

LOCATION: GARAGES, PERRY MEAD, ENFIELD, EN2 8BP

PROPOSAL: Redevelopment of site to include demolition of existing garage block, erection of a part 2, part 3 storey terrace of 4 dwellings comprising of 1 x 2- bed and 3 x 3-bed single family dwelling with associated landscaping, amenity space, refuse storage and cycle parking and new access

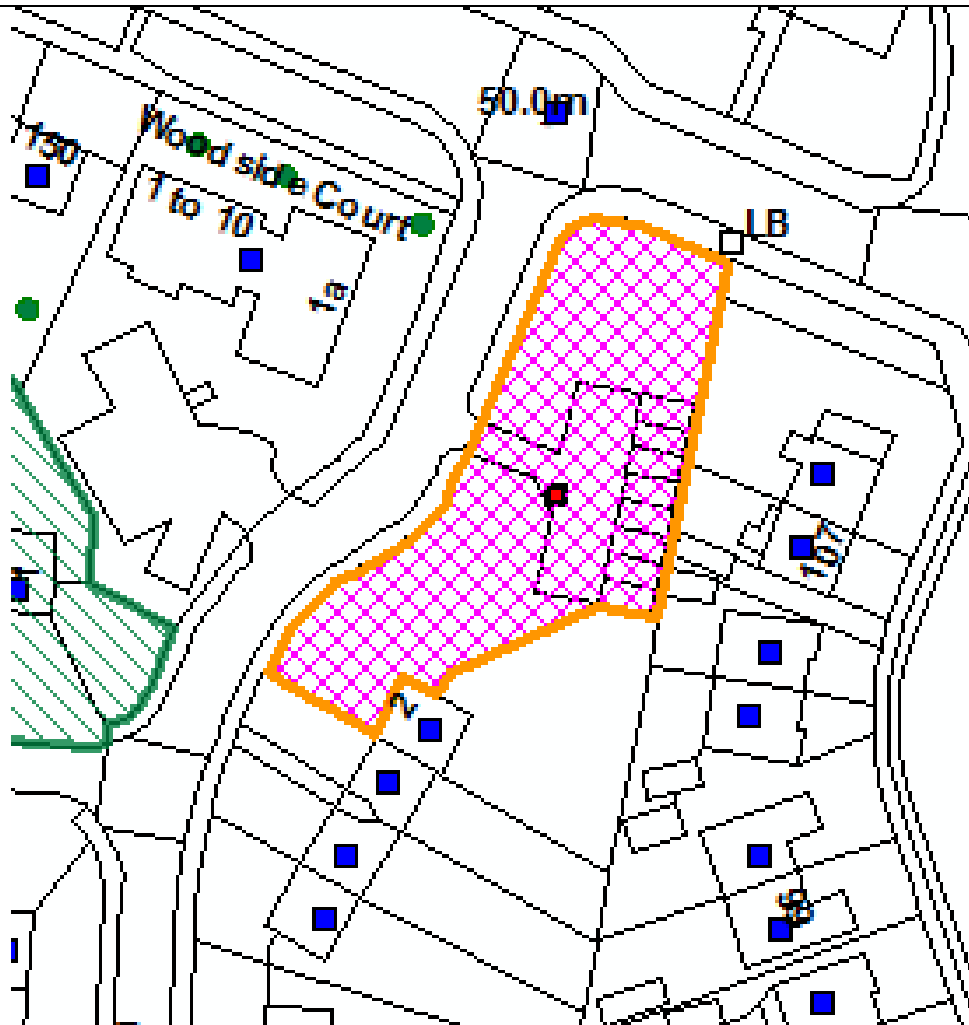
Applicant Name & Address:
Mr Nick Fletcher
Project Manager,
Health, Housing and Adult Social Care
London Borough of Enfield
C/O Agent

Agent Name & Address:
MS Natalya PALit
HTA Design LLP
105-110 Kentish Town,
London,
NW1 9PX

RECOMMENDATION:

That planning permission to be **GRANTED** in accordance with Regulation 3/4 of the Town and Country Planning General Regulations 1992 subject to conditions and Unilateral Undertaking.

Ref: 15/05727/RE4 LOCATION: Garages, Perry Mead, Enfield, EN2 8BP



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Scale 1:1250



1. Site and Surroundings

- 1.1 The site comprises 893 sq.m plot of partially previously developed land. At present the site is occupied by a set of largely defunct and derelict single storey garages with associated access and hardsurfacing located to the north east corner of Perry Mead and its junction with Holtwhites Hill. The remainder of the site contains a number of trees and an expanse of grassed area that provides a degree of public amenity to the surrounding area.
- 1.2 The surrounding area is characterised a mix of residential units. The larger Holtwhites Estate comprises a series of 2-storey terraced blocks of maisonettes each designed with a general aesthetic that is consistent throughout the wider area, while larger 3-4 storey flatted blocks exist to the north and west of the site. Monks Road lays to the east of the site and is characterised by smaller single storey bungalows.
- 1.4 The site is not within a Conservation Area nor is it a Listed Building.

2. Proposal

- 2.1 The project proposes the redevelopment of this site resulting in the demolition and removal of the existing garages and the erection of a part 2, part 3 storey terrace of 4 dwellings comprising 1 x 2-bed and 3 x 3-bed single family dwelling with associated landscaping, amenity space, refuse storage and cycle parking and new access.
- 2.2 Underpinning the scheme is a wider Council initiative known as 'Small Sites 2' driven by the Housing Department for the controlled release of brownfield land owned by the Local Authority for the provision of new residential accommodation and affordable housing.

3. Relevant Planning Decisions

- 3.1 15/01121/PREAPP & 15/02864/PREAPP – Proposed redevelopment of site to provide 9 residential units, comprising 6 x 2-bed flats and 3 x 3-bed houses & proposed redevelopment of site to provide 5 x 2-storey houses, comprising 3 x 3-bed, 1 x 2-bed, and 1 x 1-bed. (Follow up to 15/01121/PREAPP) – The redevelopment of the site has been the subject of extensive pre-application discussions with a two of iterations presented for consideration. To date two formal pre-application responses have been issued (10/04/15 and 25/07/15 respectively) each have established the principle of redevelopment of the site for residential purposes subject to achieving an appropriate density, ensuring a suitable standard of accommodation, a satisfactory relationship to existing neighbouring development, appropriate servicing and access arrangements and car parking.

4. Consultations

4.1 Statutory and non-statutory consultees

Traffic and Transportation:

- 4.1.1 No objection subject to conditions for both cycle parking and refuse storage.

Environmental Health:

- 4.1.2 Raise no objections to the scheme subject to conditions relating to noise transmittance and contamination.

Housing:

- 4.1.3 Raise no principled objections to the scheme.

Education:

- 4.1.4 At the time of writing no response had been received from colleagues in Education. Any response received will be reported as a late item albeit where an undertaking to pay relevant contributions for education provision in the Borough and in accordance with the s106 SPD has been agreed.

Economic Development:

- 4.1.5 At the time of writing, no response had been received from the Economic Development team. Any comments will be reported as a late item at committee.

Thames Water:

- 4.1.6 No objections subject to a condition to secure a piling method statement.

4.2 Public response

- 4.2.1 The application was referred to 36 surrounding properties and a site notice was placed at the site (21 days expired 11/01/16). Following negotiations a further round of consultation was sent out with a 14 day expiry period ending 18/02/16. At the time of writing two written representations were received from residents of No.1 Woodside Court and No.109 Monks Road objecting to the development citing the following grounds:

- Affect local ecology
- Conflict with Local Plan
- Development too high
- Noise nuisance
- Out of keeping with the character of the area
- Potentially contaminated land
- Close to adjoining properties
- Inadequate access
- Increase in traffic
- Loss of parking
- Loss of privacy
- Loss of light
- Strain on existing community facilities

5. Relevant Policy

- 5.1 The National Planning Policy Framework (NPPF) published in March 2012 allowed Local Planning Authorities a 12 month transition period to prepare for the full implementation of the NPPF. Within this 12 month period Local Planning Authorities could give full weight to the saved Unitary Development

Plan policies (UDP) and the Core Strategy, which was adopted prior to the NPPF. The 12 month period has now elapsed and as from 28th March 2013 the Council's saved UDP and Core Strategy policies will be given due weight in accordance to their degree of consistency with the NPPF.

- 5.2 The Development Management Document (DMD) policies have been prepared under the NPPF regime to be NPPF compliant. The Submission version DMD document was approved by Council on 27th March 2013 and is now under examination. An Inspector has been appointed on behalf of the Government to conduct the examination to determine whether the DMD is sound. The examination is a continuous process running from submission through to receiving the Inspector's Report. Public Examination of the document was completed on Thursday 24th April 2014. The DMD provides detailed criteria and standard based policies by which planning applications will be determined, and is considered to carry significant weight having been occasioned at Public Examination and throughout the examination stage.
- 5.3 The policies listed below are considered to be consistent with the NPPF and therefore it is considered that due weight should be given to them in assessing the development the subject of this application.

5.3.1 The London Plan (Consolidated)

- Policy 2.6 – Outer London: vision and strategy
- Policy 2.7 – Outer London: economy
- Policy 2.8 – Outer London: transport
- Policy 3.1 – Ensuring equal life chances for all
- Policy 3.2 – Improving health and addressing health inequalities
- Policy 3.3 – Increasing housing supply
- Policy 3.4 – Optimising housing potential
- Policy 3.5 – Quality and design of housing developments
- Policy 3.6 – Children and young people's play and informal recreation facilities
- Policy 3.7 – Large residential developments
- Policy 3.8 – Housing choice
- Policy 3.9 – Mixed and balanced communities
- Policy 3.11 – Affordable housing targets
- Policy 3.14 – Existing housing
- Policy 3.16 – Protection and enhancement of social infrastructure
- Policy 4.1 – Developing London's economy
- Policy 4.12 – Improving opportunities for all
- Policy 5.1 – Climate change mitigation
- Policy 5.2 – Minimising carbon dioxide emissions
- Policy 5.3 – Sustainable design and construction
- Policy 5.5 – Decentralised energy networks
- Policy 5.6 – Decentralised energy in development proposals
- Policy 5.7 – Renewable energy
- Policy 5.9 – Overheating and cooling
- Policy 5.10 – Urban greening
- Policy 5.11 – Green roofs and development site environs
- Policy 5.12 – Flood risk management
- Policy 5.13 – Sustainable drainage
- Policy 5.15 – Water use and supplies
- Policy 5.18 – Construction, excavation and demolition waste
- Policy 5.21 – Contaminated land

Policy 6.9 – Cycling
Policy 6.10 – Walking
Policy 6.12 – Road network capacity
Policy 6.13 – Parking
Policy 7.1 – Building London’s neighbourhoods and communities
Policy 7.2 – An inclusive environment
Policy 7.3 – Designing out crime
Policy 7.4 – Local character
Policy 7.5 – Public realm
Policy 7.6 – Architecture
Policy 7.7 – Location and design of tall and large buildings
Policy 7.14 – Improving air quality
Policy 7.15 – Reducing noise and enhancing soundscapes
Policy 7.18 – Protecting local open space and addressing local deficiency
Policy 7.19 – Biodiversity and access to nature
Policy 7.21 – Trees and woodlands

Housing SPG

5.3.2 Local Plan – Core Strategy

Core Policy 1: Strategic growth areas
Core policy 2: Housing supply and locations for new homes
Core policy 3: Affordable housing
Core Policy 4: Housing quality
Core Policy 5: Housing types
Core Policy 6: Housing need
Core Policy 20: Sustainable Energy use and energy infrastructure
Core Policy 21: Delivering sustainable water supply, drainage and sewerage infrastructure
Core Policy 24: The road network
Core Policy 25: Pedestrians and cyclists
Core Policy 26: Public transport
Core Policy 28: Managing flood risk through development
Core Policy 29: Flood management infrastructure
Core Policy 30: Maintaining and improving the quality of the built and open environment
Core Policy 32: Pollution
Core Policy 34: Parks, playing fields and other open spaces
Core Policy 36: Biodiversity

Biodiversity Action Plan
S106 SPD

5.3.4 Development Management Document

DMD1: Affordable Housing on Sites Capable of Providing 10 units or more
DMD3: Providing a Mix of Different Sized Homes
DMD6: Residential Character
DMD8: General Standards for New Residential Development
DMD9: Amenity Space
DMD10: Distancing
DMD15: Specialist Housing Need
DMD37: Achieving High Quality and Design-Led Development
DMD38: Design Process

DMD45: Parking Standards and Layout
DMD47: New Road, Access and Servicing
DMD48: Transport Assessments
DMD49: Sustainable Design and Construction Statements
DMD50: Environmental Assessments Method
DMD51: Energy Efficiency Standards
DMD53: Low and Zero Carbon Technology
DMD55: Use of Roofspace/ Vertical Surfaces
DMD57: Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD58: Water Efficiency
DMD59: Avoiding and Reducing Flood Risk
DMD64: Pollution Control and Assessment
DMD65: Air Quality
DMD68: Noise
DMD69: Light Pollution
DMD79: Ecological Enhancements
DMD80: Trees on development sites
DMD81: Landscaping

5.4 National Planning Policy Framework

5.4.1 The National Planning Policy Framework (NPPF) introduces a presumption in favour of sustainable development. In this respect, sustainable development is identified as having three dimensions – an economic role, a social role and an environmental role. For decision taking, this presumption in favour of sustainable development means:

- approving development proposals that accord with the development plan without delay; and
- Where the development plan is absent, silent or relevant policies are out of date, granting permission unless:

Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or

Specific policies in the Framework indicate development should be restricted.

5.4.2 The NPPF recognises that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The NPPF does not change the statutory status of the development plan as the starting point for decision making.

5.4.3 In addition, paragraph 173 of the NPPF states that in the pursuit of sustainable development careful attention must be given to viability and costs in plan-making and decision-taking. Plans should be deliverable. Therefore, the sites and the scale of development identified in the plan should not be subject to such a scale of obligations and policy burdens that their ability to be developed viably is threatened. To ensure viability, the costs of any requirements likely to be applied to development, such as requirements for affordable housing, standards, infrastructure contributions or other requirements should, when taking account of the normal cost of development

and mitigation, provide competitive returns to a willing land owner and willing developer to enable the development to be deliverable.

5.5 National Planning Practice Guidance

5.5.1 On 6th March 2014, the Department for Communities and Local Government (DCLG) launched the National Planning Practice Guidance (NPPG) to consolidate and simplify previous suite of planning practice guidance. Of particular note for members, the guidance builds on paragraph 173 of the NPPF stating that where an assessment of viability of an individual scheme in the decision-making process is required, decisions must be underpinned by an understanding of viability, ensuring realistic decisions are made to support development and promote economic growth. Where the viability of a development is in question, local planning authorities should look to be flexible in applying policy requirements wherever possible.

5.5 Other Material Considerations

Housing SPG

Affordable Housing SPG

Enfield Market Housing Assessment

Providing for Children and Young People's Play and Informal Recreation SPG and revised draft

Accessible London: achieving an inclusive environment SPG; Planning and Access for Disabled People; a good practice guide (ODPM)

Sustainable Design and Construction SPG;

Mayor's Climate Change Adaption Strategy; Mayor's Climate Change Mitigation and Energy Strategy;

Mayors Water Strategy

Mayor's Ambient Noise Strategy

Mayor's Air Quality Strategy

Mayor's Transport Strategy;

Land for Transport Functions SPG

London Plan; Mayoral Community Infrastructure Levy

Circular 06/05 Biodiversity and Geological Conservation- Statutory Obligations and Their Impact within the Planning System

6. **Analysis**

6.1 The main issues to consider are as follows:

- i. Principle of redevelopment to provide residential accommodation and in particular the compatibility of the development with the provisions of the NPPF and the definition of previously developed land;
- ii. Housing mix;
- iii. Design;
- iv. Amenity of neighbouring properties;
- v. Highway safety;
- vi. Sustainability and biodiversity;
- vii. S.106 Obligations; and
- viii. Community Infrastructure Levy

6.2 Principle

- 6.2.1 The site lies within a predominantly residential area and hence the principle of residential development is broadly acceptable and consequently compatible with Policies 3.3 and 3.4 of the London Plan, Core Policy 5 of the Core Strategy. The provisions of the National Planning Policy Framework supports the redevelopment of previously developed site (known as brownfield land) identifying such sites as sustainable locations for development and preferential in planning terms to sites that would erode the openness of the wider environment including greenfield and green belt land. Developments that seek to utilise these alternative sites must demonstrate the exceptional circumstances where the loss of open space, the setting such space offers and the multiplicity of benefits such areas provide can be justified.
- 6.2.2 The Development Management Document reiterates this presumption and Policy DMD71 of states that development involving the loss of other open space will be resisted unless:
- a. Replacement open space can be re-provided in the same locality and of better quality to support the delivery of the Council's adopted Parks and Open Spaces Strategy; or
 - b. It has been demonstrated through the submission of an assessment that the open space in question is surplus to requirements.
- 6.2.3 The subject site comprises a set of 8 garages set within a larger green space with a number of established (self-seeded) trees. While it is acknowledged that the development will result in the loss of a degree of semi-formal public amenity provision, this green space provides more of a setting to the garages and the wide and open aspect of the junction rather than as substantive external amenity provision in its own right. The land is unkempt and in land use terms is a poorly planned remnant of post-war social housing estates that were characterised by a loose suburban fabric with ill-defined public realm. In a broad sense, the site is brownfield (or previously developed) in that its demise is 8 garages, consequently the wider greenery to the site can be considered more in terms of providing setting and visual amenity than it can as usable public open space.
- 6.2.4 In addition, the design of the development is such that the scheme seeks to respond to the context of the site in the formation of a built form that relates well to the established building lines to the south, east and west of the site and consequently the development is set within its boundaries preserving the setting of this open aspect junction and responding positively to the loose suburban fabric that serves to define the character of the wider estate. Indeed the development benefits from significant amounts of private and semi-private amenity space which, with suitable landscaping measures and the retention of those established trees to the site, will both soften the built form and preserve visual amenity. Hence the principle of development and the loss of semi-formal open space is justified and the development is considered to accord with the provisions of the NPPF.

6.3 Housing Mix

- 6.3.1 London Plan Policy 3.8 encourages a full range of housing choice. This is supported by the London Plan Housing SPG, which seeks to secure family accommodation within residential schemes, particularly within the social rented sector, and sets strategic guidance for councils in assessing their local

needs. Policy 3.11 of the London Plan states that within affordable housing provision, priority should be accorded to family housing. Also relevant is Policy 1.1, part C, of the London Housing Strategy which sets a target for 42% of social rented homes to have three or more bedrooms, and Policy 2.1, part C, of the draft Housing Strategy (2011) which states that 36% of funded affordable rent homes will be family sized.

6.3.2 Core Policy 5 of the Core Strategy seeks to ensure that '*new developments offer a range of housing sizes to meet housing need*' and includes borough-wide targets housing mix. These targets are based on the finding of Enfield's Strategic Housing Market Assessment and seek to identify areas of specific housing need within the borough. The targets are applicable to the subject scheme and are expressed in the following table:

Tenure	Unit Type	Mix
Market Housing	1 and 2-bed flats (1-3 persons)	20%
	2-bed houses (4 persons)	15%
	3 bed houses (5-6 persons)	45%
	4+ bed houses (6+ persons)	20%
Social Rented Housing	1 and 2-bed flats (1-3 persons)	20%
	2-bed houses (4 persons)	20%
	3 bed houses (5-6 persons)	30%
	4+ bed houses (6+ persons)	30%

6.3.3 While it is acknowledged that there is an established need for all types of housing, the study demonstrates an acute shortage of houses with three or more bedrooms across owner occupier, social and private rented sectors.

6.3.4 The subject scheme proposes 100% market housing provision comprising 4 residential units. The supporting housing mix document shows a relevant breakdown as follows:

Unit type		Housing Provision	%
Houses	2B 4P	1	25%
	3B 5P	3	75%
TOTAL		4	100%

6.3.5 In accordance with submitted figures the proposed development would fail to achieve the housing mix targets stipulated by Core Policy 5 with what would seem to be an overconcentration of the larger 3B 5P units. However, to cite concern in relation to the over provision of larger family sized accommodation particularly where there is an absence of family sized accommodation would be difficult to sustain and would broadly accord with the findings of Enfield's

Strategic Housing Market Assessment (SHMA) 2010. In this regard, it is considered that the stated mix is acceptable on balance.

6.4 Design

Density

- 6.4.1 For the purposes of the London Plan density matrix, it is considered the site lies within a suburban area with a PTAL 2-3 albeit where the vast majority of the wider area has a much lower PTAL indicating that it has modest access to public transport, despite being within close proximity to Enfield Town public transport access links. In this regard, the density matrix suggests a density of between 150 and 250 habitable rooms per hectare. The character of the area indicates that the average unit size in the area has between than 3.1 – 3.7 rooms. This suggests a unit range of 40 to 80 units per hectare.
- 6.4.2 Consistent with the advice given at pre-application stage, the number of units proposed at the site has been reduced to positively respond to the concerns of the Local Planning Authority. In density terms, such a reduction has resulted in the creation of 212 habitable rooms per hectare or 44 units per hectare which while towards the upper end of the range would be within acceptable parameters. The scheme must be viable and serve to cross-subsidise other social housing endeavours as part of the ‘Small Sites 2’ programme.
- 6.4.3 It is acknowledged that advice contained within the NPPF and the London Plan Housing SPG suggests that a numerical assessment of density must not be the sole test of acceptability in terms of the integration of a development into the surrounding area and that weight must also be given to the attainment of appropriate scale and design relative to character and appearance of the surrounding area, particularly given the concerns of objectors to the scheme. Thus, the density range for the site must be appropriate in relation to the local context and in line with the design principles in Chapter 7 of the London Plan and Core Strategy Policy 30: Maintaining and improving the quality of the built and open environment and commensurate with an overarching objective that would seek to optimise the use of the site and will be discussed in the following paragraphs.
- 6.4.5 The surrounding area is characterised by a loose suburban fabric with a predominately low rise 2-storey terraced building typology interspersed by larger flatted development over 3-4 storeys. The subject site is largely regular in configuration albeit where a kink in Perry Mead narrows the majority of the site to the north and results in a parcel of land that has more constrained overall footprint than the nearest typical contemporaries. This has presented a design challenge in seeking to optimise the use of the site. However, through negotiation the quantum of development has been reduced significantly. In responding to the constraints and opportunities of the site, the revised scheme seeks to respond directly to the context of the site with recessed building lines that respond directly to established referents lining Holtwhites Hill to the north and Perry Mead to the south. While it is acknowledged that the relief afforded by larger front garden areas that characterise development to the wider estate cannot be achieved on the site, relief and a more modest defensible front garden space is provided on the site. This coupled with the replication of established building lines ensures

that the development will be read in context and provide a natural extension and transition from the existing housing stock.

- 6.4.6 The scale, bulk and massing of the scheme is also considered appropriate and pays sufficient attention to the pattern of development in the surround with two storey units provided to the south of the site before reaching three storeys to the corner of Holtwhites Hill and Perry Mead where the additional height can be comfortably accommodated and would in context be within height ranges established by flatted blocks to the north and west of the site. Again, the recessed building line to Holtwhites Hill responds positively to the established pattern of development and preserves the open aspect of the junction.
- 6.4.7 The relatively steep topography of the site running from west to east is such that a greater degree of sensitivity of the development to properties lining Monks Road which are predominately single storey. Through negotiation, revised cross sections of the site have been submitted to more accurately contextualise the development within the street scene. The height of the development when travelling to the east or west along Holtwhites Hill clearly respects the topographical differences that afflict the site, with a reasoned step down consistent with the graduation of the roofline to the west, demonstrating a recognition and replication of the rhythm of development in the surrounding area that successfully negotiates the transition between the larger development at Woodside Court to the single storey bungalows of Monks Road. The feature 3-storey element to the corner of the site, is also justified and reads well within the street scene optimising the potential for a gateway structure, announcing Perry Mead within the street scene and to some degree balancing the more imposing Woodside Court to frame the properties to the south whilst retaining significant separation to the corner of the site.
- 6.4.8 The decision to incorporate single storey elements to the Perry Mead elevation provides some visual relief from the bulk and mass of the development when viewed from the lower Monks Road and serves to break up the built form to Perry Mead providing some vertical relief and giving a sense of a development that provides single family accommodation. While of modern design, the NPPF is clear in its mandate that Local Planning Authorities do not impose architectural styles or particular tastes on development rather that they advocate high quality design and reinforce local distinctiveness.
- 6.4.9 Members are advised that Officers expressed concern throughout the process in relation to the overall presentation of the elevations to key vantage points. There was concern that the proposed fenestration would appear to create a cluttered unbroken mass lacking vertical relief.
- 6.4.10 The design statement accompanying the application and clarified in a subsequent statement from the agent states that the design of the development seeks to extol the sub-sumption of individual units into a larger mass more indicative of the Holtwhites estate. However, Officers held that the absence of articulation to the front and rear elevations created a largely blank façade and the undulation of the arches would ensure that the development would be read not in terms of individual units, but as a single entity that lacked vertical breaks which rather than reinforcing local distinctiveness would result in something of an incongruous elevational

treatment that would serve to exacerbate the perception of its overall scale, particularly to the rear where the development would appear as an unbroken mass that would dominate the rear aspect of units lining Monks Road. Such design approach was considered to be one that would serve to disrupt the pattern and rhythm of development in the surrounding area and dominate the street scene. The absence of fenestration to the rear – presumably to address issues of overlooking – served again to exacerbate a perception of bulk and an uninterrupted and potentially oppressive rear façade.



Illustration 1: Front Elevation (Original Submission)



Illustration 2: Rear Elevation (Original Submission)



Illustration 3: Site Plan (Original Submission)

6.4.11 To address this issue, Officers identified that the nearest architectural referents to the wider estate featured a book-end stepped features to each of the end units to the terraced block. Such examples were evident throughout the estate with an articulation of the building line. Indeed, even where continuous terrace blocks exist, rainwater goods, a regular arrangement of fenestration and a symmetry of form ensures an articulation of the built form that enable that both provides relief to the front elevation and allows units are read as separate entities or more modest parts of a single terrace, effectively breaking up the bulk and mass of the group of properties.



Illustration 4: Example of Bookend Development



Illustration 5: Example of Continuous Façade

6.4.12 A series of meetings were held with the applicant and following extensive negotiation, these elements of the scheme were removed and revised elevations submitted.



Illustration 6: Front Elevation (Revised Submission)



Illustration 7: Rear Elevation (Revised Submission)



Illustration 8: Site Plan (Revised Submission)

6.4.13 At the request of Officers, the revised submission now shows a stepped front and rear elevation with a slightly increased footprint of the end units and the addition of celestial lights to the rear. These relatively modest and simple design element serves to ensure that the scale, bulk and massing of the development is fractured, providing visual relief and allowing the units to be read as single entities whilst retaining an architectural motif that ensures that the four units are perceived as a coherent group that successfully mediates the its relationship to the parent estate and wider surround. Such relief is particularly important to the rear where it is held that the additional windows and stepped building line ensures that the development is significantly less imposing while preserving a sense of privacy to residents lining Monks Road. Window design will let light in, but ensure no views out and as a consequence result in a far better living environment for future residents than was apparent in the original scheme.

6.4.14 The use of an arched design to the main entrances of the units to the front elevation remains and while these would represent something of an alien feature within the surrounding area, the recession of the entrance does contribute to an articulation in the built form albeit where this could have been accommodated with a more regular right angled form – as was the case with the Padstow Road scheme considered by Members at a recent Committee – however, on balance it is considered that refusal on this basis alone would be difficult to substantiate, albeit where a resolution by Members to grant consent should not be considered as a precedent by which other schemes can be assessed. The applicant has also sought to revise the scheme to show larger crenulated windows to the front elevation. While larger windows to the front elevation again would contribute to the creation of an enhanced

living space for residents, the crenulation in the design of the wider group again is questionable in the degree to which this would integrate into the pattern of development in the surrounding area. That said, it must be acknowledged that the existence of roof terraces does go some way in breaking up the built form. However, given the complexities of the design and the degree of departure in this modern building typology from the pattern of development in the surround, it is considered that further detailed information in the form of 1:20 scale plans and sections must be secured by way of condition to ensure that the development is of a sufficient high quality that would positively contribute to the character and appearance of the surround. Therefore, on the basis of the revised plans, Officers consider that the development is – on balance – consistent with the provisions of Local Plan and can be supported having regard to Policy CP30 of the Core Strategy, DMD8 and DMD37 of the Development Management Document, Policy 3.4 of the London Plan and the NPPF.

Residential Standards

- 6.4.10 The Mayor's London Plan and any adopted alterations form part of the development plan for Enfield. In addition to this, Enfield's Local Plan comprises the relevant documents listed in policy context section above.
- 6.4.11 On 27th March 2015 a written ministerial statement (WMS) was published outlining the government's policy position in relation to the Housing Standards Review. The statement indicated that as of the 1st of October 2015 existing Local Plans, neighbourhood plan, and supplementary planning document policies relating to water efficiency, access and internal space should be interpreted by reference to the nearest equivalent new national technical standard. Decision takers should only require compliance with the new national technical standards where there is a relevant current Local Plan policy.
- 6.4.12 DMD5 and DMD8 of the Development Management Document and Policy 3.5 of the London Plan set minimum internal space standards for residential development. In accordance with the provisions of the WMS, the presence of these Policies within the adopted Local Plan is such that the new Technical Housing Standards – Nationally Described Space Standard would apply to all residential developments within the Borough. It is noted that the London Plan is currently subject to Examination, with Proposed Alterations currently being considered which seek to reflect the Nationally Described Space Standards.
- 6.4.13 Notwithstanding the fact that the existing Development Plan Policies broadly align with the new technical standards and in acknowledgement of London Plan review process, the LPA has sought Counsel Advice in relation to the status of adopted Local Plan Policy. As a starting point, when determining applications for planning permission and related appeals, as decision maker is required:
- a. By section 70(2) of the 1990 Act to have regard, inter alia, to the provisions of the development plan, so far as material to the application, and to any other material planning considerations; and,
 - b. By section 38(6) of the Planning and Compulsory Purchase Act 2004, to decide the matter in accordance with the development plan unless material considerations indicated otherwise.

- 6.4.14 The weight to be given to material considerations is for the decision maker (i.e. the LPA or the Secretary of State) making the decision in the exercise of its planning judgment.
- 6.4.15 The changes announced as part of the WMS are a material planning consideration in the determination of applications. However, the change to national policy is only one of a number of material planning considerations that must be taken into account in the determination of any particular application or appeal. As a matter of law, the change to national policy cannot supplant, or override, any other planning considerations, including any provisions of the development plan, that are material to the application.
- 6.4.16 Section 38(6) of the 2004 Act must be read together with section 70(2) of the 1990 Act. The effect of those two provisions is that the determination of an application for planning permission, or a planning appeal, is to be made in accordance with the development plan, unless material considerations indicate otherwise.
- 6.4.17 It is for the decision-maker to assess the relative weight to be given to all material considerations, including the policies of the development plan material to the application or appeal (see *City of Edinburgh Council v Secretary of State for Scotland* (1997)). Accordingly, when determining such applications the Council must have regard to and apply the provisions of the Local Plan including DMD5, DMD8 and 3.5 which requires that all new residential development attain a minimum internal floor area across all schemes and remain a material consideration.
- 6.4.18 Table 3.3 of The London Plan (2011) specifies minimum Gross Internal Areas (GIA) for residential units. Paragraph 3.36 of the London Plan specifies that these are minimum sizes and should be exceeded where possible. As the London Plan has been adopted, the GIA's have considerable weight. In addition, paragraph 59 of the National Planning Policy Framework (2012) (NPPF) states that local planning authorities should consider using design codes where they could help deliver high quality outcomes. Policy 3.5 of The London Plan also specifies that Boroughs should ensure that, amongst other things, new dwellings have adequately sized rooms and convenient and efficient room layouts.
- 6.4.19 In view of paragraph 59 of the NPPF and Policy 3.5 of The London Plan, and when considering what is an appropriate standard of accommodation and quality of design, the Council has due regard to the Mayor of London's Housing Supplementary Planning Guidance (SPG) (November 2012). As an SPG, this document does not set new policy. It contains guidance supplementary to The London Plan (2011) policies. While it does not have the same formal Development Plan status as these policies, it has been formally adopted by the Mayor as supplementary guidance under his powers under the Greater London Authority Act 1999 (as amended). Adoption followed a period of public consultation, and it is therefore a material consideration in drawing up Development Plan documents and in taking planning decisions.
- 6.4.20 When directly compared, the difference between the Development Plan standards and the new Nationally Described Space Standard can be expressed in the following table:

Unit Type	Occupancy Level	London Plan Floor Area (m ²)	National Space Standard Floor Area (m ²)
Flats	1p	37	37
	1b2p	50	50
	2b3p	61	61
	2b4p	70	70
	3b4p	74	74
	3b5p	86	86
	3b6p	95	95
	4b5p	90	90
2 storey houses	4b6p	99	99
	2b4p	83	79
	3b4p	87	84
	3b5p	96	93
	4b5p	100	97
3 storey houses	4b6p	107	106
	3b5p	102	99
	4b5p	106	103
	4b6p	113	112

6.4.21 In accordance with submitted plans and with reference to the schedule of accommodation all of the units either meet or exceed relevant standards and hence would be broadly acceptable.

Inclusive Access

6.4.20 London Plan SPG and Local Plan imposes further standards to ensure the quality of accommodation is consistently applied and maintains to ensure the resultant development is fit-for-purpose, flexible and adaptable over the lifetime of the development as well as mitigating and adapting to climatic change. In this regard, all units are required to achieve Lifetime Homes standards with a further 10% being wheelchair accessible. The WMS replaced Lifetime Homes standards with optional Building Regulations standards M4(2) and M4(3). These optional standards are applicable to the scheme as the development plan contains clear Policies requiring specialist housing need and in a more broad sense, development that is capable of meeting the reasonable needs of residents over their lifetime. The new standards are broadly equivalent to Lifetime Homes and Wheelchair Accessible Homes and accordingly it is expected that all properties are designed to achieve M4(2) with a further 10% achieving M4(3).

6.4.21 The constraints of the site, with its steep topography and the need to ensure impact to properties lining Monks Road is minimised, is such that the development has been design to follow the fall of the land and as such contains a step down to the principle living area. The decision to incorporate this most stair is such that the development is unable to achieve M4(2) or M4(3) standards. Whilst contrary to Policy, Members must balance this requirement against wider considerations that would see the delivery of family sized development to an under-utilised plot of land. In this regard, and mindful of the considerations elsewhere in this report, the delivery of housing to the site is supported in principle and alterations to adapt the development to relevant accessibility standards may consequently render the development unacceptable in other terms potentially increasing the height and scale of the

development to a level that may unacceptably impact upon neighbouring properties. On balance, therefore, the failure to comply with accessibility standards is a direct consequence of a site and topography that undermines compliance with relevant standards without a mechanism by which compliance can be secured in planning terms. Invariably exceptional circumstances will be encountered on certain sites whereby plot constraints are such that full compliance cannot be secured. Steep topography is a widely recognised exception and hence refusal on this basis cannot be substantiated and non-compliance is acceptable in this instance only.

Amenity Provision/Child Playspace

6.4.23 Policy DMD9 seeks to ensure that amenity space is provided within the curtilage of all residential development. The standards for houses and flats are as follows:

Dwelling type	Average private amenity space (across the whole site)	Minimum private amenity required for individual dwellings (m²)
1b 2p	N/A	5
2b 3p	N/A	6
2b 4p	N/A	7
3b 4p	N/A	7
3b 5p	N/A	8
3b 6p	N/A	9
2b 4p (house)	38	23
3b 5p (house)	44	29
4b 6p (house)	50	35

6.4.24 In addition to the standards for private amenity space set out above, flats must provide communal amenity space which:

- a. Provides a functional area of amenity space having regard to the housing mix/types to be provided by the development;
- b. Is overlooked by surrounding development;
- c. Is accessible to wheelchair users and other disabled people;
- d. Has suitable management arrangements in place.

6.4.25 From submitted plans it is clear that the area average capable of providing screened private amenity space to the rear of each of the units exceeds minimum average standards by some margin.

6.4.22 London Plan policy 3.6 requires that development proposals that include residential development make suitable provision for play and informal recreation, based on the expected child population generated by the scheme and an assessment of future needs at a ratio of 10 sq.m of play space per child. This would result in a requirement for 10.8 sq.m of play space required based on child yield.

6.4.23 No formal play provision has been provided, however, regard must be given to the nature, type and context of the development within the wider surround. Each of the family unit benefits from Policy compliant doorstep private gardens which are of a sufficient size to ensure practical and functional use. In accordance with the Play and Informal Recreation SPG, the presence of

private garden space removes the requirement to provide playspace for the under 5's and further states that where existing provision is within 400m for 5-11 year olds and 800m for 12+ year olds this too can be taken into account in determining the degree and nature of the playspace requirement. While there are no public recreation grounds within these thresholds, Town Park is within walking distance to the south of the site and mindful of the quantum of development it is considered that the absence of dedicated play space is broadly acceptable given the provision of generously proportioned private garden areas to each of the units.

6.5 Impact of Neighbouring Properties

- 6.5.1 Policy DMD8 of the Development Management Document seeks to ensure that all new residential development is appropriately located, taking account of the surrounding area and land uses with a mandate to preserve amenity in terms of daylight, sunlight, outlook, privacy, noise and disturbance. In addition, DMD10 imposes minimum distancing standards to maintain a sense of privacy, avoid overshadowing and to ensure that adequate amounts of sunlight are available for new and existing developments.
- 6.5.2 The context of the site is such that the only likely impact of the development to neighbouring properties would be limited to No.2 Perry Mead and Nos. 103 to 109 Monks Road.
- 6.5.3 In taking the each of the two roads in turn, No.2 Perry Mead lies to the south of the site with what would be considered as dual principal elevations facing north and west respectively. The property presents one of the principal elevations to the subject site and contains the main entrance and fenestration to the ground and first floors. From observations made on site, it would appear that these windows service secondary living areas including a bathroom. The relationship of the subject scheme to this neighbouring property is such that while the development would marginally sit proud of the existing front building line, the separation of the development as well as its relative orientation ensures that the scheme does not impact unduly upon this unit and would not give rise to adverse conditions prejudicial to residential amenity either through a loss of outlook or indeed light. The presence of relatively dense and established vegetation to this elevation also lessens the impact of the scheme, which while discernible would not result in any undue harm. It is acknowledged that the flank elevation to the southernmost property does contain flank fenestration at first floor level. This window services a bedroom and benefits from alternative sources of outlook and light and hence a condition to secure obscured glazing to this single window would be sufficient to safeguard the privacy of this neighbouring property. Thus, on balance, the impact of the development to No.2 Perry Mead is deemed to be acceptable.
- 6.5.4 In relation to those properties lining Monks Road, the topography of the site is such that these bungalows are set lower than the subject site and so are much more sensitive to impacts resultant from the imposition of the built form. As has been stated previously, the kink in the circulatory Perry Mead narrows the majority of the site to the north and results in a parcel of land that has more constrained overall footprint than the nearest typical contemporaries. This constraint conspires to dramatically reduce the degree of separation the development can enjoy from its shared boundary to the east with the properties lining Monks Road. The net result of this reduction is an inability

for the development to achieve minimum distances standards for facing windows – namely 22m for 1-2 storey developments and 25m for 1-3 storey developments – ranging from between 16m to the northern end of the site to maximum of 20m to the south. Clearly this is contrary to Policy DMD10, however, through pre-application this was an acknowledged constraint of the site and through varying iterations of the scheme in its design evolution including revisions just recently secured, this deficiency has been acknowledged and tabled viable design solutions serve to mitigate for the overall impact of the scheme.

- 6.5.5 The purpose of Policy DMD10 is to set some threshold standards by which to assess schemes and ensure that adequate daylight / sunlight or privacy is maintained for existing surrounding development. The mandate adopted by the applicant in this scheme has been to respond to this requirement and demonstrate the contextual circumstances by which a smaller distance can be justified. In this regard, the decision to design a scheme that responds more directly to topographical changes across the site and served to create a form of development that is shrink-wrapped – so far as is practicable to ensure minimum space standards can be achieved – and when scrutinised in cross-section it is clear that the development successfully negotiates the topography and differing scale of buildings to the east and west of the site, providing a transition that sits comfortably within the street scape whilst ensuring that the maximum amount of separation is maintained to the rear of the site. The installation of single storey elements to the scheme further serves to break up the built form, providing visual relief to residents of Monks Road and offering views out across to Perry Mead and development beyond. The further stepped articulation of the end units to the rear elevation and the provision of celestial windows, breaks up the former oppressive expanse of the rear wall and consequential reduces a perception of overall scale and bulk. Such measures render the scheme as less imposing within its context whilst ensuring the delivery of viable units.
- 6.5.6 To further validate the design solutions tabled, the applicant has provided a detailed sunlight / daylight assessment to accompany the scheme. While it is acknowledged that the Council does not currently have specific daylight/sunlighting standard thresholds, through the adoption and application of the Housing SPG, the use of BRE Report 209 'Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice' in the measurement of daylighting is an applicable methodology by which an assessment of the impact of the scheme can be conducted.
- 6.5.7 BRE Report 209 indicates that acceptable minimum daylight penetration would be expressed in terms of an Average Daylighting Factor and set at the following levels:
- 1% for bedrooms
 - 1.5% for living rooms
 - 2 % for kitchens (or combination living spaces)
- 6.5.8 Access to direct sunlight is expressed in terms of Annual Probable Sunlight Hours (APSH) where occupants would have a reasonable expectation of receiving direct sunlight for at least 25% of the probable sunlight hours annually and 5% over the winter months (although this is caveated by the fact such standards are often not possible on modern, dense, city centre sites).

6.5.9 The study examines the results of daylight and sunlight tests to all of the neighbouring properties laying to the periphery of the site. The methodology adopted by the report states that sufficient daylight is achieved if the angle between the roof-level of the proposed development and the mid-point of the lowest utilised window of the neighbouring building is greater than 25°. Where details of the windows are unknown the guidance states that a height of 1.6m from the ground is taken as a representative mid-point. The mid-point is extended across the length of the façade. This criterion can be simply checked geometrically, where the planes do not intersect the proposed building structure sufficient daylight penetration is assumed. In terms of overshadowing the results of the assessment demonstrate that all of the gardens and amenity areas tested to Monks Road meet or exceed the BRE target criteria for sunlight. The first test of Policy DMD10 is therefore satisfied.

6.5.10 In relation to the test of privacy, the terraces and fenestration to the rear elevation at first and second floor levels has been designed so as to offer no views out of the site to these sensitive neighbouring properties. Through negotiation high level celestial lights have been installed and serve to break up the bulk and mass of the previously largely blank façade to the rear whilst ensuring the penetration of natural light into the individual units. The net result of this change is such that no views to the Monks Road will be possible and hence privacy and a perception thereof must be preserved ensuring that the development complies with the second test. Whilst it is acknowledged that objections have been raised from residents lining Monks Road, in this regard and on balance it must therefore be concluded that the development will not unduly impact upon the residential amenity of neighbouring properties and would consequently comply with the provisions of DMD8 and DMD10.

6.6 Highway Safety

Site Context

6.6.1 The Public Transport Accessibility Level (PTAL) of the site is 2 to 3 indicating that the site has poor access to public transport routes. Perry Mead is an unclassified road. There are no parking restrictions in the vicinity of the site and a vehicular access to the existing garages.

Access and Servicing

6.6.2 Pedestrian access is clearly defined and the proposed arrangements meet London Plan Policy 6.10 Walking and Enfield DMD Policy 47 which requires that '*[a]ll developments should make provision for attractive, safe, clearly defined and convenient routes and accesses for pedestrians, including those with disabilities.*'

6.6.3 The plans indicate that where new dwellings are being provided the existing access to garages will be closed off and the footway reinstated. Therefore no vehicular access and related off street parking is proposed for the dwellings. This is in line with Enfield DMD Policy 46. The applicant will need to cover the cost of reinstatement of the footway and should contact Highway Services to discuss this.

6.6.4 The proposal indicates that each property will have pedestrian access via an individual gate along the front boundary of each property. The applicant will

need to ensure that these access arrangements meet relevant guidelines including the Inclusive Mobility Guide.

- 6.6.5 The access points from each of the units should be joined up to the existing footways on the nearside of the development site. The existing footways around the site are worn out and in consultation with colleagues in Traffic and Transportation these should be re-paved as part of the proposals to improve the quality and attractiveness of the street scene and make it more user-friendly to promote walking and cycling in the area. This approach would meet the requirements of the London Plan Policy 6.10 and Enfield DMD Policy 47 which highlight the need for safe and convenient pedestrian access to new developments including for wheelchair users. This will be secured by condition.
- 6.6.6 In general terms, the intensification of use will not result in a significant increase in serving demands in excess of levels currently experienced. The unrestricted parking in the area coupled with the width of the adjoining highway is such that larger vehicles including waste vehicles can enter and exit the site easily.

Car Parking

- 6.6.7 The current London Plan Policy 6.13 – and related maximum standards as set out in Table 6.2 in the Parking Addendum – indicates that the maximum provision for a new development of this size and setting is up to 1.5 car parking spaces per residential unit. There is also maximum provision set by number of bedrooms with a 2 bed having less than 1 space and a 3 bed less than 1.5. The following section has been examined in consultation with colleagues in Traffic and Transportation.
- 6.6.8 The proposal indicates that the existing garages on the site are being lightly used (only 2 of the 8 are being rented) and that there is evidence from other sources that the actual usage is only 1 in 8. This would indicate a loss of off-street car parking of between 1 and 2 spaces. The applicant has indicated that they propose to accommodate the parking requirements for the site on-street. Car parking surveys undertaken indicate that on-street capacity overnight is approximately 50% on Perry Mead, it is therefore reasonable to assume that there is available capacity for the additional car parking generated by the development.
- 6.6.9 Considering the scale of the development proposed it is thought that the parking demand can be accommodated on-street and that the development is, therefore, consistent with current parking policies as contained in the London Plan Policy 6.13 and DMD Policy 45.

Cycle Parking

- 6.6.10 The proposals indicate that each new home will have access to two covered cycle spaces within the rear garden which meets the London Plan requirements for long stay parking. To fully comply with the London Plan standards the applicant will also need to make provision for 2 short stay cycle parking spaces, which are secure, publically accessible and conveniently located for visitors to the new dwellings. The details of this provision can be secured by way of a condition.

6.7 Sustainable Design and Construction

Energy

- 6.7.1 In accordance with London Plan Policy 5.2 and DMD51 of the Development Management Document, the application includes an energy strategy for the development setting out how carbon dioxide emissions will be reduced with an overarching target to reduce carbon dioxide emission by 19% over Part L of Building Regulations 2013 across the site.
- 6.7.2 The Policy embeds the principles of the energy hierarchy (be lean, be clean, be green) and requires strict adherence to the hierarchy to maximise energy efficiency in development from the ground up, ensuring that the structure of the energy policies serve to incentivise considered innovative design as the core value in delivering exemplar sustainable development in accordance with the Spatial Vision for Enfield and Strategic Objective 2 of the Core Strategy. Indeed, reflecting the overarching strategic vision for the borough, the Policy goes further than the London Plan and instils a flexibility in the decision making process to seek further efficiencies and deliver exemplar developments within our regeneration areas.
- 6.7.3 An Energy Statement has been omitted from the scheme, however, the D&A indicates that the development will commit to the Code 4 equivalent energy strategy. This is considered acceptable subject to condition.

Code for Sustainable Homes

- 6.7.4 Core Policy 4 of the adopted Core Strategy requires that all residential developments should seek to exceed Code Level 3 of the Code for Sustainable Homes. DMD50 of the Development Management Document has updated this target and new residential developments within the Borough are now required to exceed a Code Level 4 rating. The WMS formally withdrew the Code for Sustainable Homes and in its transitional arrangement indicated that the Code would only remain applicable to legacy case. The scheme is not defined as a legacy case and hence the requirements of the Code do not apply.

Green Roofs

- 6.7.5 Policy DMD55 of the Development Management Document seeks to ensure that new-build developments, and all major development will be required to use all available roof space and vertical surfaces for the installation of low zero carbon technologies, green roofs, and living walls subject to technical and economic feasibility and other relevant planning considerations. Despite pre-application advice, green roofs have been omitted from the scheme and while it is acknowledged that the use of photovoltaic panels to the roof may limit the options for green roof provision, it is not considered that this point alone is sufficient to omit the requirement. In this regard, it is considered that further feasibility testing – secured via condition – will be necessary to ensure that the development maximises the biodiversity and sustainable drainage benefits in accordance with the DMD and Biodiversity Action Plan (BAP).

Biodiversity

6.6.14 An ecological report has been submitted. The report concludes that the limit scale and scope of the development site is such that works will not affect the nature conservation value of the site or the surrounding area. The report contains a number of recommendations for ecological enhancements – including bird and bat boxes – which will be secured via condition consistent with Policies CP36 and DMD79.

6.6.15 In terms of tree protection, the site contains a number of established trees the majority of which are due to be retained. An arboricultural report has been submitted for consideration and in consultation with the Council's Tree Officer the findings of the report are satisfactory subject to a condition to secure relevant tree protection measures.

Flood Risk/Sustainable Urban Drainage

6.6.16 The subject site is not within a Flood Zone and hence has a low annual probability of flooding. In accordance with Policies DMD 59, 60, 61 and 62 the adequate management of surface water-run-off is a key consideration in the detailed specification of the scheme. The Council's SuDS Officer has objected to the scheme on the basis of an excessive discharge rate non compatible or compliant with the require greenfield run-off rate specified by Policy DMD61. The issue is currently under discussion with the application and resolution will be secured by condition.

Pollution & Air Quality

6.6.17 Core Policy 32 of the Core Strategy and Policy 7.14 of the London Plan seek to ensure that development proposals should achieve reductions in pollutant emissions and minimise public exposure to air pollution.

6.6.18 In consultation with Environmental Health no objections subject to a condition to secure an acoustic report due to the proximity of the development to the mainline railway line. This is considered acceptable.

Contaminated Land

6.6.19 Core Policy 32 and London Plan Policy 5.21 seeks to address the risks arising from the reuse of brownfield sites to ensure its use does not result in significant harm to human health or the environment. The subject site is not known to be at significant risk from ground based contaminants, however, in the interests of due diligence a condition to require a contaminated land study and scheme to deal with any potential contaminants will be levied.

6.7 *S106 Contributions*

6.7.1 On 28th November 2014 a written ministerial statement was published and announced changes to S106 planning obligations for small scale development. Paragraphs 12 to 23 of the National Planning Policy Guidance (NPPG) were amended to state that contributions for affordable housing and tariff style planning obligations should not be sought from small scale and self-build developments containing 10 units or less with a gross area of no more than 1000 sq.m.

6.7.2 The position was subsequently challenged and a case was brought to the High Court by West Berkshire District Council and Reading Borough Council

refuting the decision on 28th November 2014 to make alterations to national policy in respect of planning obligations for affordable housing and social infrastructure contributions and the decision on 10th February to maintain those Policy changes following the completion of an Equalities Impact Assessment (EqIA).

- 6.7.3 On 31st July 2015 Mr Justice Holgate upheld the challenge and ruled that the changes to national policy on 28th November 2014 were unlawful and contrary to the provisions of the Town and Country Planning Act 1990 (as amended) and the Planning and Compulsory Purchase Act 2004. In addition, Mr Justice Holden ruled that the failed to comply with the public sector equality duty under the Equality Act 2010 and consequently failed to give due regard to all material considerations. On this basis, Mr Justice Holden quashed the policy and subsequent changes to the NPPG. Accordingly, paragraphs 012-023 of the NPPG on planning obligations have been removed.
- 6.7.4 Subsequently, the SoS for Communities and Local Government appealed the decision of Mr Justice Holgate. Lord Justice Treacy and Lord Justice Laws residing at the Court of Appeal held that the Appeal was allowed. On or around 19th May 2016 paragraph 031 was reinserted into the NPPG stating that '[t]here are specific circumstances where contributions for affordable housing and tariff style planning obligations (section 106 planning obligations) should not be sought from small scale and self-build development. This follows the order of the Court of Appeal dated 13 May 2016, which give legal effect to the policy set out in the Written Ministerial Statement of 28 November 2014 and should be taken into account. These circumstances are that contributions should not be sought from developments of 10-units or less, and which have a maximum combined gross floorspace of no more than 1000sqm'
- 6.7.5 The LPA have sought Counsel advice in relation to the changes in relation to the status of adopted Policy. Counsel advice concluded that while adopted Policy within the Local Plan carried weight and remained a material consideration, the change in Policy to exclude small scale development from affordable housing contributions and other tariff style contributions – as a more recent Policy – carried greater weight and hence in consultation with colleagues in Planning Policy a direction to suspend the application of these types of s106 contributions to small scale development has been made subject to the ongoing Local Plan Review.
- 6.8 *Community Infrastructure Levy*
- 6.8.1 As of the April 2010, legislation in the form of CIL Regulations 2010 (as amended) came into force which would allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm.
- 6.8.2 The development will result in 385 sq.m of new floor area equating to a total of £7,700 is payable (as index adjusted). No discount is afforded by virtue of the existing vacant garages.

- 6.8.3 Enfield's CIL was formally adopted and came into force as of 1st April 2016. The development will result in 385 sq.m of new floor area equating to a total of £23,100 is payable (as index adjusted).

7. Conclusion

- 7.1 The subject development utilises existing and underutilised site. The quantum, mix and tenure of the development taking into account all relevant considerations is considered to be appropriate to the site and following revisions responds positively to established character and appearance of the surrounding area as well as securing the delivery of housing to the area. In this regard, members are being asked in considering the officer recommendation to grant planning permission, to also grant delegated powers to officers to agree the final wording for the conditions deemed necessary to render the scheme acceptable in planning terms.

8. Recommendation

- 8.1 That planning permission be to be granted in accordance with Regulation 3/4 of the Town and Country Planning General Regulations 1992 subject to conditions**

- 8.2 That officers be granted delegated authority to finalise the precise wording of the conditions to cover the issues identified within the report and summarised below.**

8.3 Conditions in summary

1 The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

2 The development shall not commence until details of the external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

3 The development shall not commence until details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings have been submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

4 The development shall not commence until plans detailing the existing and proposed ground levels including the levels of any proposed buildings, roads and/or hard surfaced areas have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure that levels have regard to the level of surrounding development, gradients and surface water drainage.

5 The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved detail before the development is occupied.
Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

6 The development shall not commence until details showing facilities for the loading, unloading and turning of vehicles clear of the highway have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be constructed in accordance with the approved details before the development is occupied and shall be maintained for this purpose.
Reason: To ensure that the development complies Unitary Development Plan Policies and does not prejudice conditions of safety or traffic flow on adjoining highways.

7 Prior to commencement of superstructure works details of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield Waste and Recycling Planning Storage Guidance ENV 08/162, and security details shall be submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

8 The parking area(s) forming part of the development shall only be used for the parking of private motor vehicles and shall not be used for any other purpose.
Reason: To ensure that the development complies with Unitary Development Plan Policies and to prevent the introduction of activity which would be detrimental to amenity.

9 Within 3 month of the commencement of superstructure works details of any external lighting proposed shall be submitted to and approved in writing by the Local Planning Authority. The approved external lighting shall be provided before the development is occupied.

Reason: To ensure that the development does not prejudice the amenities of adjoining occupiers and / or the visual amenities of the surrounding area.

10 Prior to first occupation details of the siting, number and design of secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

11 Notwithstanding Classes A (including installation / replacement of guttering to a new design or in different materials, the rendering or cladding of a façade), B, C, D, E, F, G and H of Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 or any amending Order, no alterations to the building, buildings or extensions to buildings shall be erected or enacted at the proposed single dwelling houses or within their curtilage without the permission in writing of the Local Planning Authority.

Reason: In order to protect the character and appearance of the subject properties and surrounding area, to protect the amenities of the adjoining properties and to ensure adequate amenity space is provided.

12 Within 3 months of the commencement of superstructure works full details of both hard and soft landscape proposals shall be submitted to and approved by the Local Planning Authority. The landscape details shall include:

- Planting plans
- Written specifications (including cultivation and other operations associated with plant and grass establishment)
- Schedules of plants and trees, to include native and wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities)
- Full details of tree pits including depths, substrates and irrigation systems
- The location of underground services in relation to new planting
- Implementation timetables.
- Biodiversity enhancements with relevant ecological (value) assessment to show a net gain in the ecological value of the site in accordance with the Biodiversity Action Plan and submitted Preliminary Ecological Appraisal dated May 2015
- SuDS enhancements
- Specifications for fencing demonstrating how hedgehogs and other wildlife will be able to travel across the site (e.g. gaps in appropriate places at the bottom of the fences)

All hard and soft landscape works shall be carried out in accordance with the approved details and to a reasonable standard in accordance with the relevant recommendations of appropriate British Standards or other recognised Codes of Good Practice. The works shall be carried out prior to the occupation of any part of the development or in accordance with the timetable agreed with the Local Planning Authority. Any trees or plants that, within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced as soon as is reasonably practicable with others of species, size and number as originally approved, unless the Local Planning Authority gives its written consent to any variation.

Reason: To ensure the provision of amenity, and biodiversity enhancements, to afforded by appropriate landscape design, and to increase resilience to the adverse impacts of climate change the in line with Core Strategy policies CP36 and Policies 5.1 - 5.3 in the London Plan.

13 No demolition, construction or maintenance activities audible at the site boundary of any residential dwelling shall be undertaken outside the hours of 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 Saturday or at any time on Sundays and bank or public holidays without the written approval of the Local Planning Authority, unless the works have been approved in advance under section 61 of the Control of Pollution Act 1974.

Reason: To minimise noise disturbance.

14 No impact piling shall take place without the prior written approval of the Local Planning Authority and shall only take place in accordance with the terms of any such approval.

Reason: To minimise noise disturbance.

15 Deliveries of construction and demolition materials to and from the site by road shall take place between 08:00 - 18:00 Monday to Friday & 08:00 - 13:00 on Saturday and at no other time except with the prior written approval of the Local Planning Authority.

Reason: To minimise noise disturbance.

16 No development shall take place until Construction Management Plan, written in accordance with the 'London Best Practice Guidance: The control of dust and emissions from construction and demolition' or relevant replacement detailing how dust and emissions will be managed during demolition and construction work shall be submitted to the local planning authority for approval. Once approved the Construction Management Plan shall be fully implemented for the duration of any demolition and construction works.

Reason: To minimise the impact of the development upon air quality.

17 The development shall not commence until a scheme to deal with the contamination of the site including an investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health and the environment has been submitted to and approved in writing by the Local Planning Authority. Remediation shall be carried out in accordance with the approved scheme and the Local Planning Authority provided with a written warranty by the appointed specialist to confirm implementation prior to the commencement of development.

Reason: To avoid risk to public health and the environment.

18 Following practical completion of works, but prior to first occupation details of the internal consumption of potable water have been submitted to and approved in writing by the Local Planning Authority. Submitted details will demonstrate reduced water consumption through the use of water efficient fittings, appliances and recycling systems to show consumption equal to or less than 105 litres per person per day for the residential uses.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the Core Strategy, Policy 5.15 of the London Plan.

19 Prior to first occupation details of a rainwater recycling system shall be submitted to and approved in writing by the Local Planning Authority. The details submitted shall also demonstrate the maximum level of recycled water that can feasibly be provided to the development.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the emerging Core Strategy, Policy 5.15 of the London Plan.

20 The development shall not commence until details of surface drainage works have been submitted and approved in writing by the Local Planning Authority. The details shall be based on an assessment of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework and shall be designed to a 1 in 1 and 1 in 100 year storm event allowing for climate change with a greenfield run-off rate. The drainage system shall be installed/operational prior to the first occupation and a continuing management and maintenance plan put in place to ensure its continued function over the lifetime of the development.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To ensure the sustainable management of water, minimise flood risk and to minimise discharge of surface water outside of the curtilage of the property in accordance with Policy CP28 of the Core Strategy, DMD61 of the Development Management Document, Policies 5.12 & 5.13 of the London Plan and the NPPF..

21 All areas of hedges, scrub or similar vegetation where birds may nest which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the proposed development in accordance with national wildlife legislation and in line with CP36 of the Core Strategy. Nesting birds are protected under the Wildlife and Countryside Act, 1981 (as amended).

22 Prior to first occupation, details of biodiversity enhancements, to include 8 bird and 8 bat bricks/tubes/tiles designed and incorporated into the materials of the new building, shall be submitted and approved in writing by the council.

Confirmation of installation shall then be provided in the form of a photographic survey and formal letter confirming installation from a Suitably Qualified Ecologist prior to first occupation of the units.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policy 7.19 of the London Plan.

23 The development shall not commence until a feasibility study for the provision of green/brown roof(s) shall be submitted and approved in writing by the Local Planning Authority.

The green/brown roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape. Details shall include full ongoing management plan and maintenance strategy/schedule for the green/brown roof to be approved in writing by the Local Planning Authority.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiveristy Action Plan and Policies 5.11 & 7.19 of the London Plan.

24 Following the practical completion of works a final Energy Performance Certificate with associated Building Regulations Compliance Report shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

25 The development shall provide for no less than a 19% reduction on the total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2013 as stated in the accompanying energy statement.

The development shall be carried out strictly in accordance with the energy statement so approved and maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

26 The renewable energy technologies (photovoltaics), shall be installed and operational prior to the first occupation of the development. Prior to installation details of the renewable energy technologies shall be submitted and approved in writing by the Local Planning Authority. The details shall include:

- a. The resulting scheme, together with any flue/stack details, machinery/apparatus location, specification and operational details;
- b. A management plan and maintenance strategy/schedule for the operation of the technologies;
- c. (if applicable) A servicing plan including times, location, frequency, method (and any other details the Local Planning Authority deems necessary); and,

Should, following further assessment, the approved renewable energy option be found to be no-longer suitable:

- d. A revised scheme of renewable energy provision, which shall provide for no less than 20% onsite CO2 reduction, shall be submitted to and approved in writing by

the Local Planning Authority prior to occupation, the details shall also include a response to sub-points a) to c) above. The final agreed scheme shall be installed and operation prior to the final occupation of the development.

The development shall be carried out strictly in accordance with the details so approved prior to occupation and shall be maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets by renewable energy are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

27 Prior to commencement of superstructure works to the site a Green Procurement Plan shall be submitted to and approved in writing by the Local Planning Authority. The Green Procurement Plan shall demonstrate how the procurement of materials for the development will promote sustainability, including by use of low impact, locally and/or sustainably sourced, reused and recycled materials through compliance with the requirements of MAT1, MAT2 and MAT3 of the Code for Sustainable Homes and/or relevant BREEAM standard. The Plan must also include strategies to secure local procurement and employment opportunities. Wherever possible, this should include targets and a process for the implementation of this plan through the development process.

The development shall be constructed and procurement plan implemented strictly in accordance with the Green Procurement Plan so approved.

Reason: To ensure sustainable procurement of materials which minimises the negative environmental impacts of construction in accordance with Policy CP22 and CP23 of the Core Strategy and Policy 5.3 of the London Plan.

28 The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

29 The development shall not commence until a Site Waste Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan should include as a minimum:

- a. Target benchmarks for resource efficiency set in accordance with best practice
- b. Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste
- c. Procedures for minimising hazardous waste
- d. Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works)
- e. Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups

In addition no less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19, 5.20 of the London Plan and the draft North London Waste Plan.

30 That development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

- a. a photographic condition survey of the roads, footways and verges leading to the site;
- b. details of construction access and associated traffic management to the site;
- c. arrangements for the loading, unloading and turning of delivery, construction and service vehicles clear of the highway;
- d. arrangements for the parking of contractors vehicles;
- e. arrangements for wheel cleaning;
- f. arrangements for the storage of materials;
- g. hours of work;
- h. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition' or relevant replacement.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

31 Development shall not commence until an Employment and Skills Strategy to accord with the provisions of the s106 SPD has been submitted to and approved in writing by the Local Planning Authority.

The development shall be implemented in accordance with the strategy and verification of compliance with the approved details shall be submitted for approval prior to first occupation.

Reason: To accord with the s106 SPD and secure local employment and training opportunities.

32 Prior to the commencement of the development hereby approved (including all preparatory work), a scheme for the protection of the retained trees including a tree protection plan (TPP) and an arboricultural method statement (AMS) shall be submitted to and approved in writing by the local planning authority.

Specific issues to be dealt with in the TPP and AMS:

- a) Location and installation of services/ utilities/ drainage.
- b) Methods of demolition within the root protection area (RPA as defined in BS 5837: 2012) of the retained trees

- c) Details of construction within the RPA or that may impact on the retained trees
- d) Tree protection during construction indicated on a TPP and construction and construction activities clearly identified as prohibited in this area.
- e) Boundary treatments within the RPA
- f) Methodology and detailed assessment of root pruning
- g) Arboricultural supervision
- h) The method of protection for the retained trees

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: In the interest of biodiversity, sustainability, and to ensure that a satisfactory standard of visual amenity is provided and maintained in accordance with policies.

33 The development shall be constructed/adapted so as to provide sufficient air-borne and structure-borne sound insulation against externally generated noise and vibration. This sound insulation shall ensure that the level of noise generated from external sources shall be no higher than 35 dB(A) from 7am – 11pm in bedrooms, living rooms and dining rooms and 30 dB(A) in bedrooms from 11pm – 7am measured as a LAeq,T. The LAF Max shall not exceed 45dB in bedrooms 11pm – 7am. An acoustic report with a scheme of mitigation measures shall be submitted to and approved by the Local Planning Authority prior to development taking place. The approved mitigation scheme shall be implemented in its entirety before any of the units are occupied/the use commences.

Reason: To protect residents from noise and disturbance

34 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

35 The development shall not commence until a scheme to deal with the contamination of the site including an investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health and the environment has been submitted to and approved in writing by the Local Planning Authority. Remediation shall be carried out in accordance with the approved scheme and the Local Planning Authority provided with a written warranty by the appointed specialist to confirm implementation prior to the commencement of development.

Reason: To avoid risk to public health and the environment.

36 The development shall not commence until detailed plans and sections to a minimum scale of 1:20 have been submitted and approved in writing by the Local Planning Authority to cover the following areas:

- All windows and doors
- Unit entrances and arches
- Roof terrace and balcony finishes
- Crenulated roof
- Steeped front and rear façade

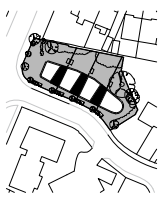
The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To ensure satisfactory appearance.

37 The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

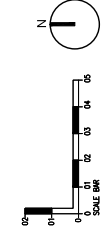
Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPACT OF CONSTRUCTION ON ADJACENT LANDS IS ASSESSED.
 INTERNAL LANDS INCLUDE:
 KEY PLAN



NOTES

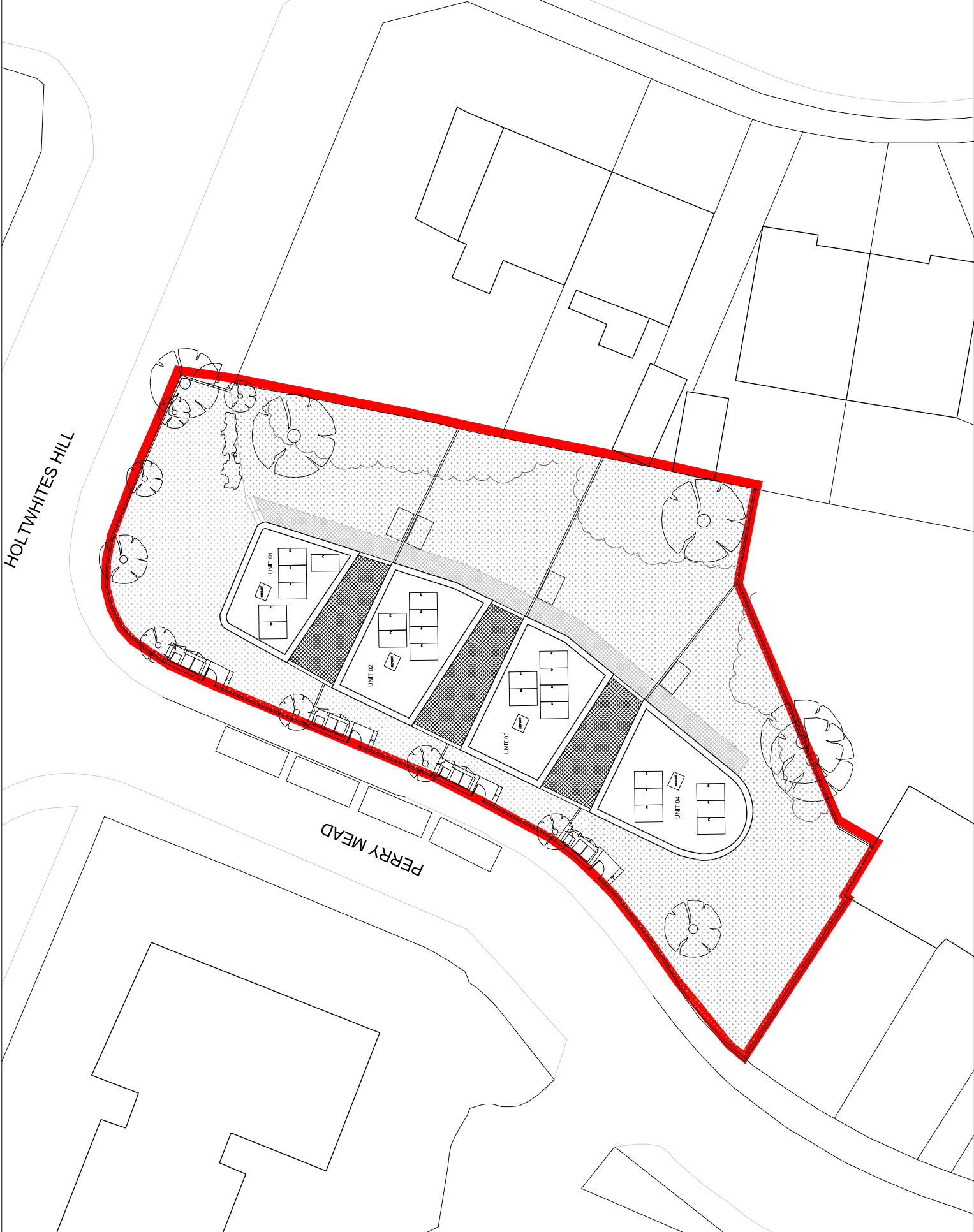
- ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL AUTHORITY AND THE LOCAL PLANNING OFFICER.
- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPACT OF CONSTRUCTION ON ADJACENT LANDS IS ASSESSED.
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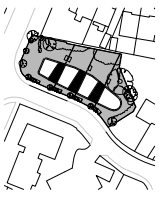
No. Boundaries shown in presumed locations, Enfield Housing to confirm legal boundaries

SCHEDULE OF ACCOMMODATION :
 Unit 01 : 3 Bed / 5 person house = 107sq2 / 201-030 sqm
 Unit 02 : 3 Bed / 5 person house = 86sq2 / 170-000 sqm
 Unit 03 : 3 Bed / 5 person house = 86sq2 / 170-000 sqm
 Unit 04 : 2 Bed / 4 person house = 64sq2 / 133-000 sqm

DATE: 24/11/16
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: PERRY MEAD
 CLIENT: LONDON BOROUGH OF ENFIELD
 DRAWING TITLE: PROPOSED SITE PLAN
 SCALE: 1:100
 SHEET: 11 OF 11
 DRAWING NO: PER_P_070
 REV: P02

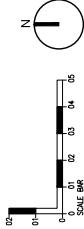


ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPROVEMENT OF THE EXISTING CONSTRUCTION.
 INTERNAL LAYOUTS INDICATED.
 NOT FINAL



NOTES

- THE PERSON RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SUBJECT TO THIS PLAN, SHALL BE THE ARCHITECT OR HIS EMPLOYEE OR AGENT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE OR EQUIPMENT WHICH IS NOT SHOWN ON THIS PLAN.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE OR EQUIPMENT WHICH IS NOT SHOWN ON THIS PLAN.
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SCHEDULE OF ACCOMMODATION :

- Unit 01 : 3 Bed / 2 person house = 107m²
- Unit 02 : 3 Bed / 2 person house = 107m²
- Unit 03 : 3 Bed / 2 person house = 107m²
- Unit 04 : 2 Bed / 4 person house = 84m²

PER: 24/11/20, 2020 FOR PLANNING
 P03: 24/11/20, 2020 FOR PLANNING
 ADDITIONAL NOTES: SEE DRAWING
 DATE: 24/11/20, 2020
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PETER BARBER ARCHITECTS
 473 High Street, London, E14 4JF
 020 7424 1234
 www.peterbarberarchitects.com

CLIENT: LONDON BOROUGH OF ENFIELD
 PROJECT: PERRY MEAD
 LOCATION: LONDON
 DRAWING TITLE: GROUND FLOOR GA

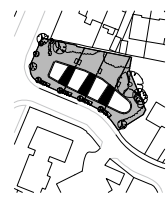
SCALE: 1:100
 DATE: 24/11/20, 2020
 DRAWING NO: P03
 DRAWING TITLE: GROUND FLOOR GA
 DRAWING DATE: 24/11/20, 2020
 DRAWING BY: [Name]
 CHECKED BY: [Name]
 DRAWING NO: P03
 DRAWING TITLE: GROUND FLOOR GA
 DRAWING DATE: 24/11/20, 2020
 DRAWING BY: [Name]
 CHECKED BY: [Name]

HOLTWHITES HILL

PERRY MEAD

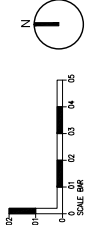


ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPACT OF CONSTRUCTION ON ADJACENT LANDS IS ASSESSED.
 INTERNAL LANDS INCLUDE KEY PLAN



NOTES

- ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL AUTHORITY AND THE BUILDING REGULATIONS.
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SCHEDULE OF ACCOMMODATION :

- Unit 01 : 3 Bed / 5 person house = 137sqm
- Unit 02 : 3 Bed / 5 person house = 99sqm
- Unit 03 : 3 Bed / 5 person house = 99sqm
- Unit 04 : 2 Bed / 4 person house = 99sqm

FOR ALL THE SEES FOR DRAWING

NO	DATE	DESCRIPTION	DATE
01	10/10/18	ISSUED FOR PERMITS	10/10/18
02	10/10/18	ISSUED FOR PERMITS	10/10/18
03	10/10/18	ISSUED FOR PERMITS	10/10/18
04	10/10/18	ISSUED FOR PERMITS	10/10/18
05	10/10/18	ISSUED FOR PERMITS	10/10/18

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 173 High Street, London, E15 2JF
 Tel: 020 7464 4444
 Email: peter@peterbarberarchitects.com

CLIENT: LONDON BOROUGH OF ENFIELD
 PROJECT: PERRY MEAD
 LONDON
 DRAWING TITLE: FIRST FLOOR GA

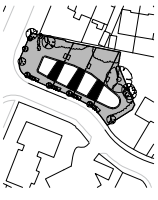
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PLANNING PER_P_101

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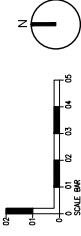


ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPACT OF CONSTRUCTION MATERIALS AND WORKING METHODS ARE TAKEN INTO ACCOUNT. REFERENCE TO DIMENSIONS SHALL BE TO THE FACE UNLESS SPECIFIED OTHERWISE.



NOTES

- THE DESIGN IS SUBJECT TO LOCAL AUTHORITY PLANNING PERMISSION SUBJECT TO ANY CONDITIONS ATTACHED THEREON.
- THIS PLAN SHOWS THE PROPOSED SECOND FLOOR OF BUILDING PER PERRY MEAD, ENFIELD, AND IS NOT BEING SUBMITTED FOR PLANNING PERMISSION.
- THE DESIGN IS SUBJECT TO THE RESULTS OF ALL RELEVANT TESTS AND REPORTS TO BE COMPLETED BY THE CLIENT AND THE DESIGNER.
- THE DESIGN IS SUBJECT TO ANY UNDESIRABLE PERMITS TO CONSTRUCT.



SCHEDULE OF ACCOMMODATION :

- Unit 01 : 3 Bed / 5 person house = 107sqm
- Unit 02 : 3 Bed / 5 person house = 98sqm
- Unit 03 : 3 Bed / 4 person house = 89sqm
- Unit 04 : 3 Bed / 4 person house = 89sqm

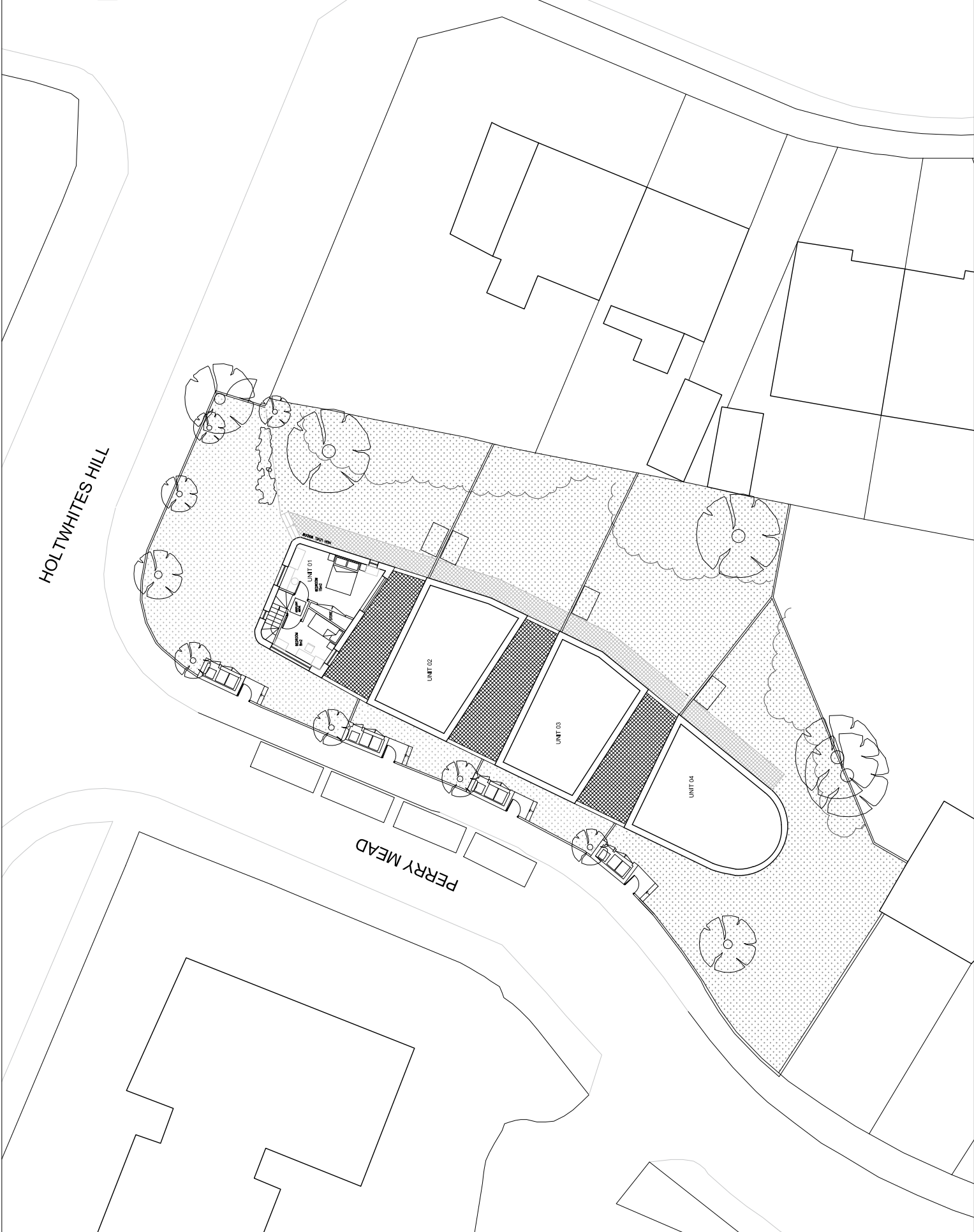
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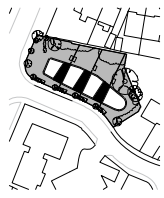
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PROJECT: PERRY MEAD
LOCATION: LONDON
DRAWING TITLE: SECOND FLOOR GA

SCALE: 1:100
DATE: 12/12/18
PLANNING PERMITS
REF: PER_P_102
P04

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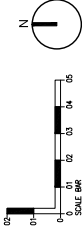


ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE IMPACT OF FOUNDATION, CONSTRUCTION TOLERANCES AND OTHER INTERFERING ELEMENTS AFFECTING THE FINAL POSITION OF THE BUILDING IS DETERMINED.



NOTES

- THE PERSONS RESPONSIBLE FOR THE PROVISION OF THE SERVICES SHOULD BE SUBJECT TO THE TERMS AND CONDITIONS OF THE SERVICE CONTRACT.
- THE SERVICES DESCRIBED IN THIS SCHEDULE OF SERVICES ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE SERVICE CONTRACT.
- THE SERVICES DESCRIBED IN THIS SCHEDULE OF SERVICES ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE SERVICE CONTRACT.

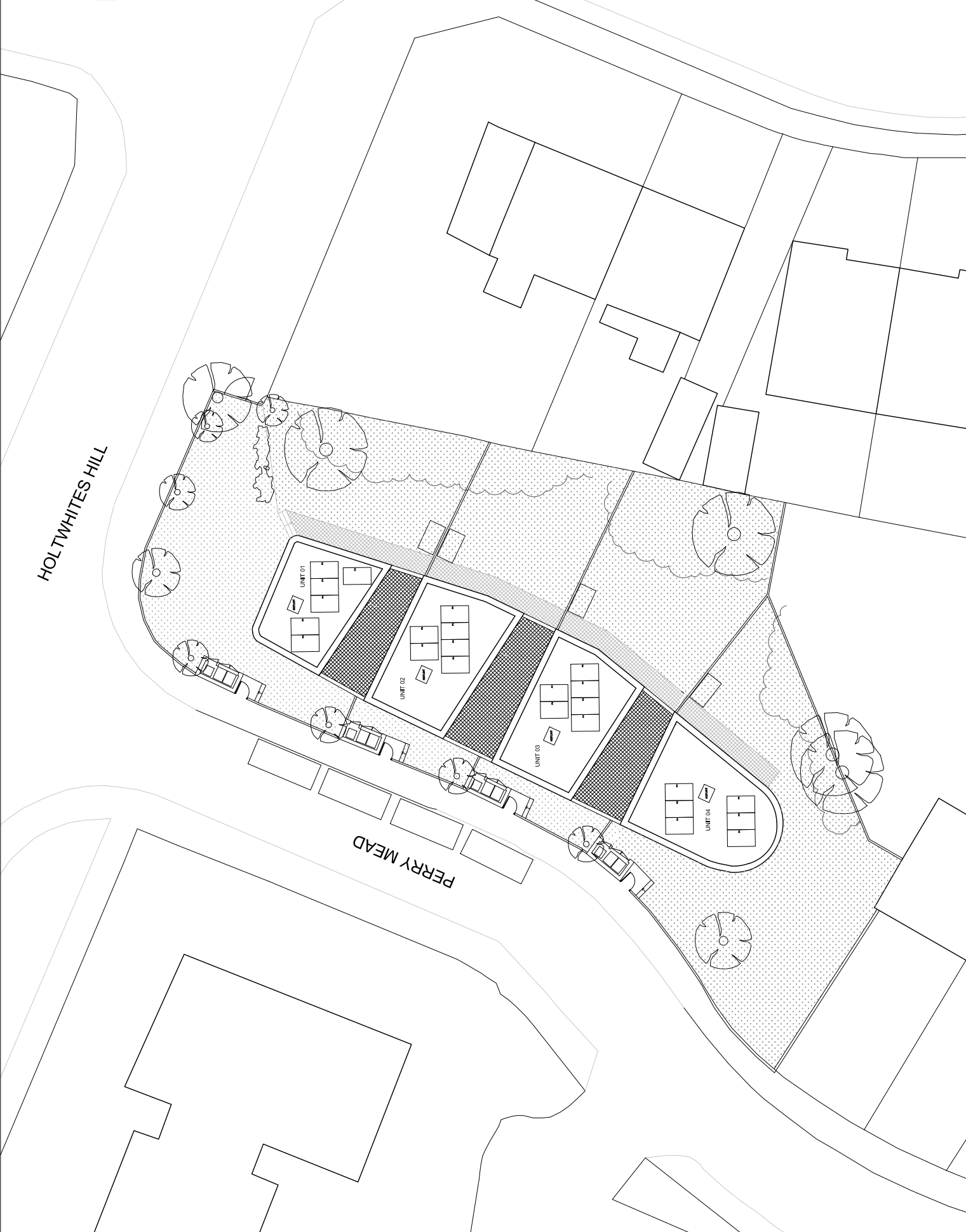


SCHEDULE OF ACCOMMODATION :
UNIT 01 : 3 Bed / 5 person house = 91sqm
UNIT 02 : 3 Bed / 5 person house = 91sqm
UNIT 03 : 3 Bed / 5 person house = 91sqm
UNIT 04 : 2 Bed / 4 person house = 68sqm

PER PLANNING PERMITTED DEVELOPMENT RIGHTS
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117 The Old Coach House, London, SE17 2LL
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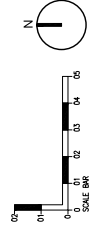
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PROJECT : PERRY MEAD
LONDON
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NOTES

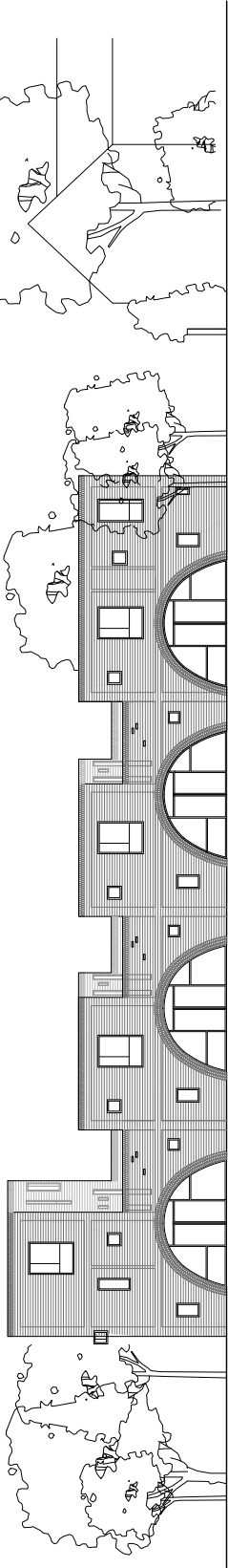
- ALL DIMENSIONS REFERENCED TO THE ARCHITECT'S KEY PLAN ARE SUBJECT TO THE LOCAL PLANNING AUTHORITY'S APPROVAL.
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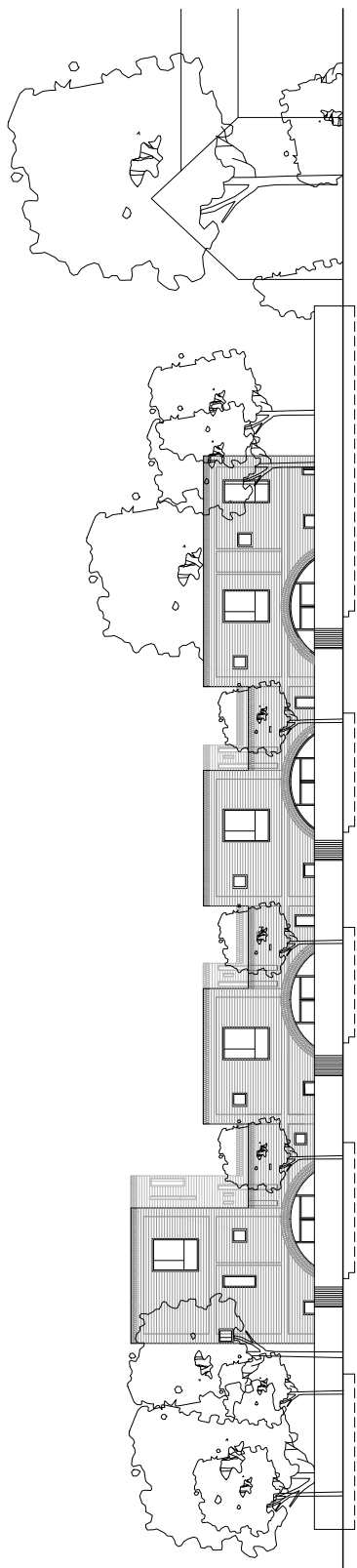
SCHEDULE OF ACCOMMODATION :

Unit 01	1	Bed / 5 person house = 100sq
Unit 02	3	Bed / 5 person house = 150sq
Unit 03	3	Bed / 5 person house = 150sq
Unit 04	2	Bed / 4 person house = 80sq

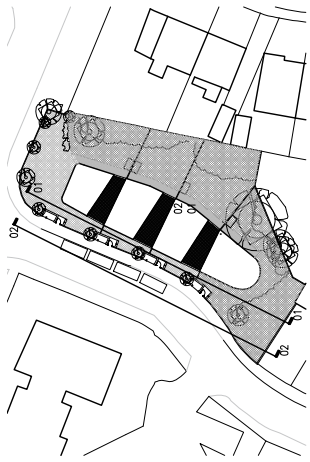
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01 PERRY MEAD - PROPOSED FRONT ELEVATION

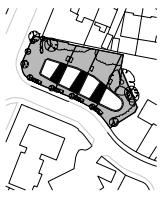


02 PERRY MEAD - PROPOSED FRONT ELEVATION FROM STREET



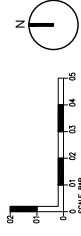
KEY PLAN :

ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
 WORKING LAYOUTS INDICATE KEY PLAN



NOTES

- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- WORKING LAYOUTS INDICATE KEY PLAN.
- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- WORKING LAYOUTS INDICATE KEY PLAN.

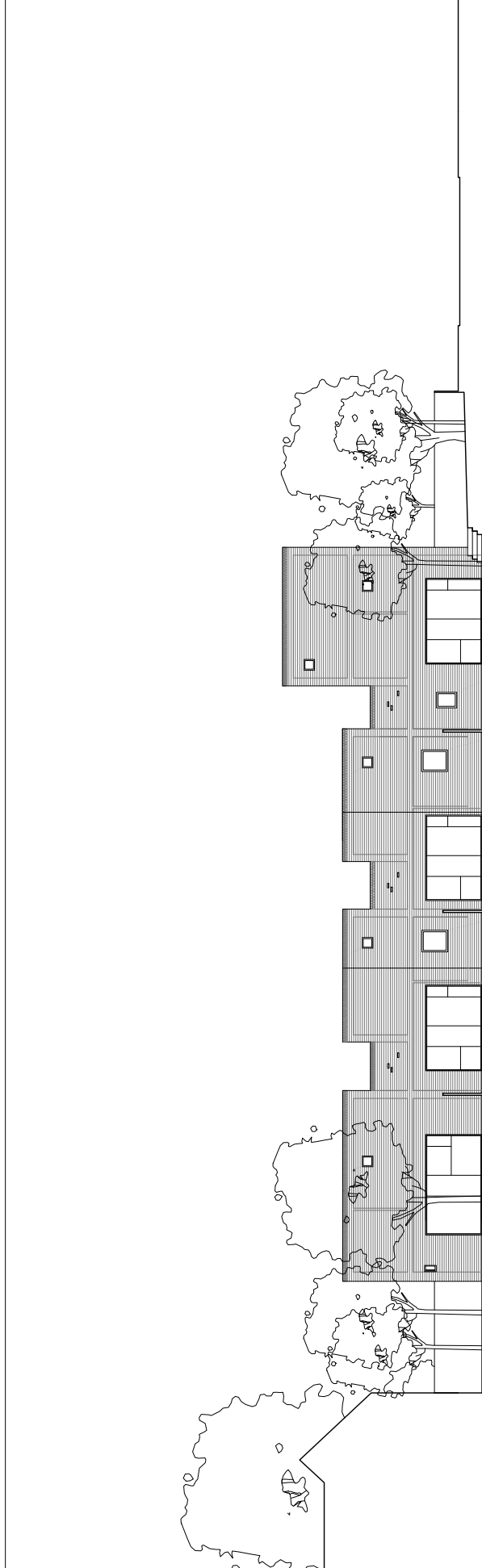


SCHEDULE OF ACCOMMODATION :
 UNIT 01 : 3 Bed / 5 person house = 107m²
 UNIT 02 : 3 Bed / 5 person house = 96m²
 UNIT 03 : 3 Bed / 5 person house = 96m²
 UNIT 04 : 2 Bed / 4 person house = 82m²

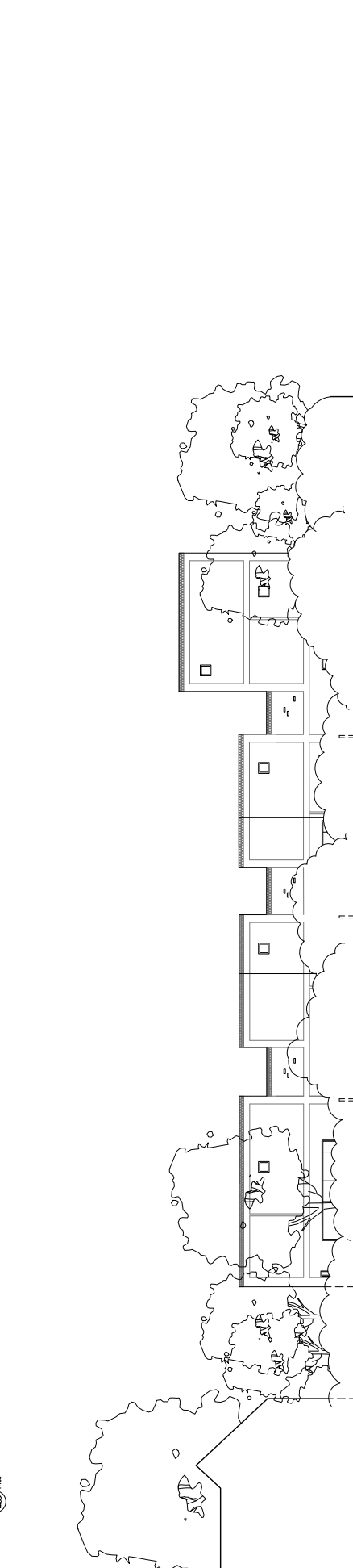
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PETER BARBER ARCHITECTS
 101 Park Street, London, W1C 2DE
 Tel: 020 7493 8888 Fax: 020 7493 8889
 www.peterbarberarchitects.com

CLIENT: LONDON BOROUGH OF ENFIELD
 PROJECT: PERRY MEAD LONDON
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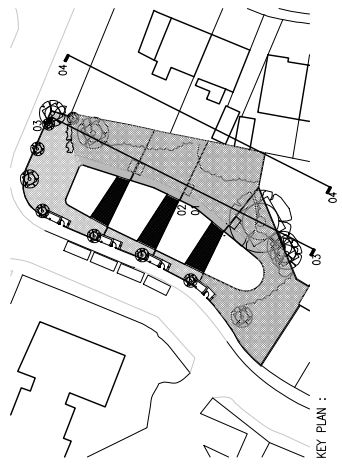
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13. PERRY MEAD - PROPOSED REAR ELEVATION FROM REAR GARDEN

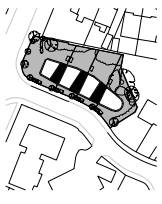


14. PERRY MEAD - PROPOSED REAR ELEVATION FROM NEIGHBOURING PROPERTY



KEY PLAN :

ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
 WORKING LAYOUTS INDICATED.
 KEY PLAN



NOTES

- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- WORKING LAYOUTS INDICATED.
- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- WORKING LAYOUTS INDICATED.



SCHEDULE OF ACCOMMODATION :

- Unit 01 : 2 Bed / 5 person house = 107sqm
- Unit 02 : 2 Bed / 5 person house = 98sqm
- Unit 03 : 2 Bed / 5 person house = 98sqm
- Unit 04 : 2 Bed / 4 person house = 84sqm

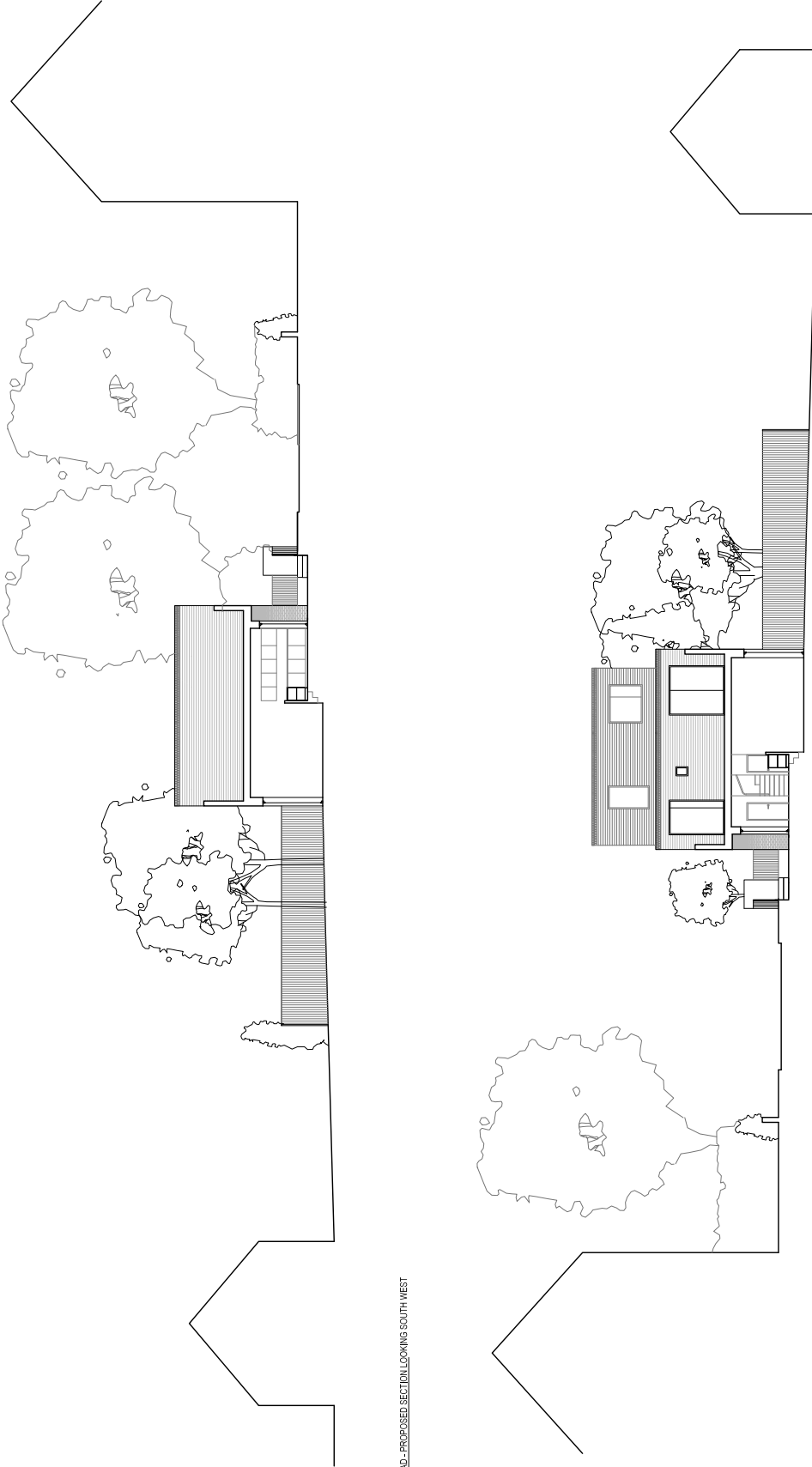
DATE FOR PLANNING : 06/01/2015
 DATE FOR REVIEW : 06/01/2015
 DRAWN BY : [Name]
 CHECKED BY : [Name]

PETER BARBER ARCHITECTS
 107 Perry Mead, London, W14 9PE
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 Email: info@peterbarberarchitects.com

CLIENT : LONDON BOROUGH OF ENFIELD
 PROJECT : PERRY MEAD
 LOCATION : LONDON
 DRAWING TITLE : PROPOSED ELEVATIONS 03

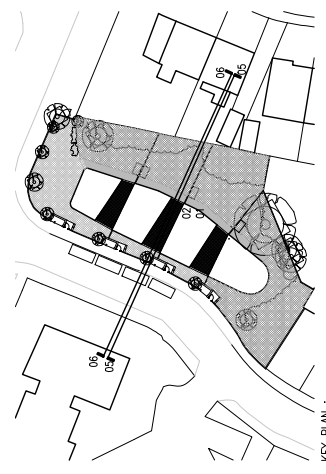
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 DRAWING NO: PLANNING

REVISION NO: PER_P_302
 REV: P03
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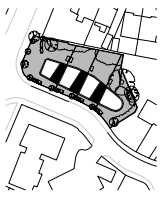
PERRY MEAD - PROPOSED REAR SECTION LOOKING SOUTH WEST

PERRY MEAD - PROPOSED REAR SECTION LOOKING NORTH EAST



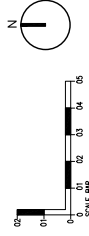
KEY PLAN :

ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
 WORKING LAYOUTS INDICATE KEY PLAN



NOTES

- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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- THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



SCHEDULE OF ACCOMMODATION :

Unit 01	3 Bed / 5 person house = 107sqm
Unit 02	3 Bed / 5 person house = 98sqm
Unit 03	3 Bed / 5 person house = 98sqm
Unit 04	2 Bed / 4 person house = 67sqm

PROJ. NAME: ISSUED FOR PLANNING
 DATE: 27/06/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PETER BARBER ARCHITECTS
 107 Perry Mead, London, W14 9JF
 020 8834 1000

CLIENT: LONDON BOROUGH OF ENFIELD
 PROJECT: PERRY MEAD
 LOCATION: LONDON

DRAWING TITLE: PROPOSED ELEVATIONS 04

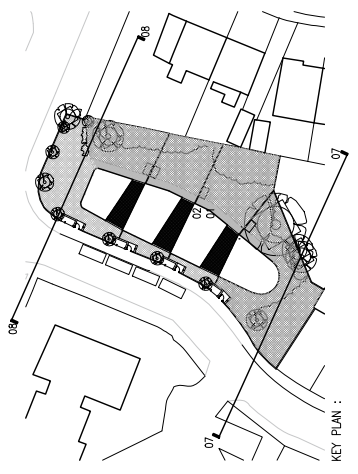
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PLANNING
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 REV: P03
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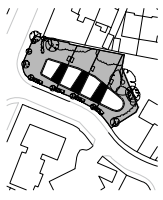
07 PERRY MEAD - PROPOSED NORTHERN ELEVATION

08 PERRY MEAD - PROPOSED SOUTHERN ELEVATION



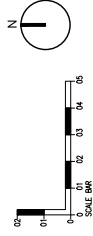
KEY PLAN :

ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
 WORKING LAYOUTS INDICATE THE PROPOSED WORKING LAYOUTS ONLY.



NOTES

- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE THE ARCHITECT OF RECORD COMMENCES CONSTRUCTION.
- WORKING LAYOUTS INDICATE THE PROPOSED WORKING LAYOUTS ONLY.
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- WORKING LAYOUTS INDICATE THE PROPOSED WORKING LAYOUTS ONLY.



07. PERRY MEAD - PROPOSED NORTHERN ELEVATION

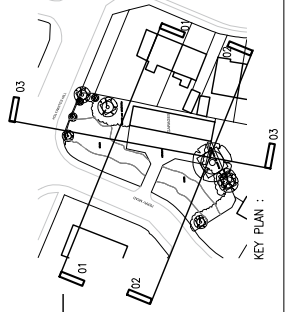
08. PERRY MEAD - PROPOSED SOUTHERN ELEVATION

FOR PLATINUM ISSUED FOR PLANNING DC PH
 FOR ZONING DRAFT ISSUE FOR REVIEW DC PH
 FOR DATE DESCRIPTION DATE CHK

PETER BARBER ARCHITECTS
 101 Park Street, London, W1C 8EH
 Tel: 020 7493 8488

CLIENT: LONDON BOROUGH OF ENFIELD
 PROJECT: PERRY MEAD
 LOCATION: LONDON
 DRAWING TITLE: EXISTING ELEVATIONS

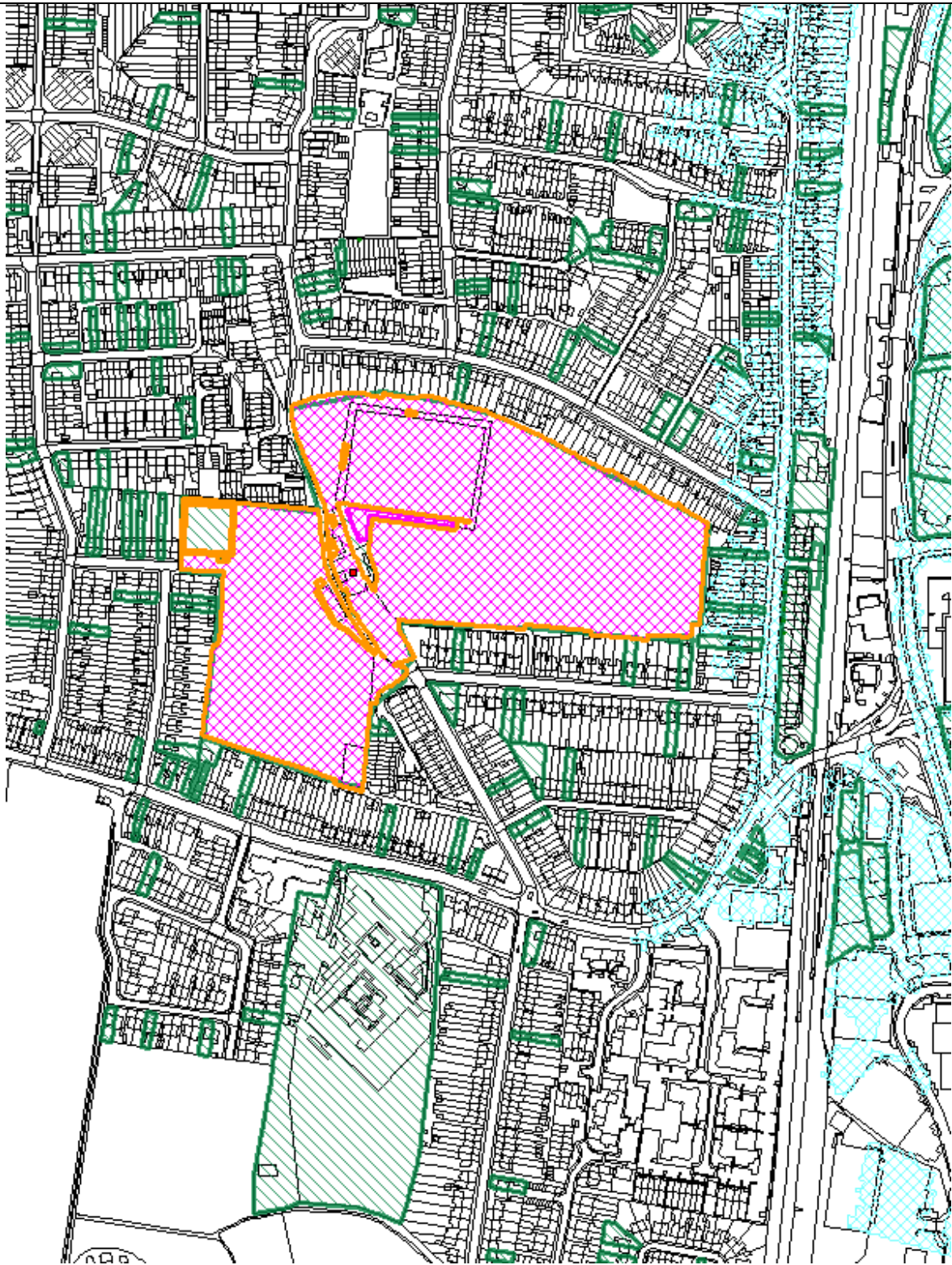
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 DATE: 21/05/15
 DRAWING NO: PLANNING
 DRAWING NO: PER_P_310
 REV: P03
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KEY PLAN :

LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 28 June 2016
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham Sharon Davidson Mr Sean Newton	Ward: Enfield Highway
Ref: 15/01063/FUL		Category: Full Application
LOCATION: Brimsdown Sports Club, Goldsdown Road, EN3 7RP,		
PROPOSAL: Part retrospective application for the redevelopment of site to include demolition of existing club houses and ancillary structures, erection of a 2 storey club house with viewing deck incorporating changing rooms, staff and conference room, retention of existing turf pitch, additional stands to main pitch, alteration to ground levels, creation of 2x turf football pitches, 1x full size artificial football pitch and 4x multi use games areas (MUGAs), upgrading of access roads, increase in parking, flood lighting and landscaping.		
Applicant Name & Address: Brimsdown Sports Club, Goldsdown Road Enfield EN3 7RP	Agent Name & Address: Mr Duncan Paterson 106 3 High Street Precinct Egham Surrey TW20 9HN	
RECOMMENDATION: That planning permission is GRANTED subject to conditions.		

Ref: 15/01063/FUL LOCATION: Brimsdown Sports Club, Goldsdown Road, EN3 7RP,



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Scale 1:5000

North



Site and Surroundings

- 1.1. The site is an existing sports ground located on the northern side of Green Street, accessed off Goldsdown Road.
- 1.2. Between the site entrance and the first of the single storey structures which form a series of clubrooms (Yalova FC and Bush Hill Rangers FC) and ancillary structures is an informal parking area. Immediately to the east of the site entrance and connecting Goldsdown Road with Carterhatch Road to the north, is a public footpath. The footpath bisects the site into an eastern and western side.
- 1.3. The eastern side (also known as "The Stadium Site") is occupied by the aforementioned clubrooms and the main playing pitch, located within the north-west corner. The remainder of this part of the site had been stripped of soil with large stockpiles of imported soil lying in various overgrown bunds.
- 1.4. Around the main pitch are four existing lighting columns and remnants of a covered stand on the northern side of the pitch and an uncovered, seated stand on the southern side. The player dugouts are located on the northern side of the pitch.
- 1.5. The western side (also known as "The Downs") has a single storey clubhouse facing towards a football pitch. Unlike the Stadium Site, the whole of this part of the site would appear to still be in use.
- 1.6. The site is surrounded by residential developments consisting of a mixture of semi-detached, terraced and purpose-built flats on Carterhatch Road to the north, Brimsdown Avenue to the east, Osborne Road to the south and Bowood and Mayfield Roads to the west.
- 1.7. On the southern side of Green Street is Durants Park where there are a number of pitches and MUGA.

2. Amplification of Proposal

- 2.1. Part retrospective application for the redevelopment of site to include demolition of existing club houses and ancillary structures, erection of a 2 storey club house with viewing deck incorporating changing rooms, staff and conference room, retention of existing turf pitch, additional stands to main pitch, alteration to ground levels, creation of 2x turf football pitches, 1x full size artificial football pitch and 4x multi use games areas (MUGAs), upgrading of access roads, increase in parking, flood lighting and landscaping.
- 2.2. Ground levels have been altered through the stripping away of some soil and the unlawful importation of soil. Some of the imported soil will be formed into bunds around the perimeter of the site and some will increase ground levels around the site generally.
- 2.3. The proposed new clubroom facilities will be sited nearer to the main pitch, approximately 40m north of the existing. Facilities to be provided will include:
 - 10 changing rooms
 - Male/female toilet facilities
 - Visitor's lounge bar with kitchen, servery and storage
 - Meeting room / crèche

- Gym
 - Various offices
 - Committee room
 - Conference room
 - Clubroom and bar
 - Partially covered balcony viewing area
- 2.4. Car parking will be provided for 254 vehicles, primarily located to the east of the access road, 14 minibuses and 100 bicycles.
- 2.5. It is anticipated that local schools, clubs and the wider community will have access to the proposed facilities.
- 2.6. Four new spectator stands are proposed around the main pitch. These will include two 30m long touchline stands (approximately 6.5m in height) and two 20m long goal line stands (approximately 6.5m in height).

3. Relevant Planning Decisions

- 3.1. There is an extensive planning history associated with the site. The most relevant are provided below:
- 3.1.1. Outline planning permission (ref: TP/98/1411) was granted with conditions on 21/12/1998 for a new sports pavilion (including changing facilities) and extension to existing changing facilities adjoining sports and social club. The pavilion building was sited on the field to the east of the main clubhouse.
- 3.1.2. Planning permission (ref: TP/95/0824) was granted with conditions on 12/03/1995 for the erection of a bowls club pavilion and changing rooms.
- 3.1.3. Planning permission (ref: TP/89/1352) was granted with conditions on 21/05/1990 for the erection of a bowls club pavilion and changing rooms.
- 3.1.4. Planning permission (ref: TP/06/0441) was granted on 27/04/2006 for an extension to existing seating area to provide 100 additional seats with installation of turnstile.
- 3.1.5. Planning permission (ref: TP/02/0319) was granted on 06/11/2003 for an extension to existing seating area to provide 100 additional seats with installation of turnstile.

4. Consultations

4.1. Statutory and non-statutory consultees

Environment Agency

- 4.1.1. The following has been advised:
- A bespoke environmental permit under the Environmental Permitting Regulations 2010 will be required because there is not currently enough information within the planning application submission to know if the proposed development can meet our requirements to prevent, minimise and/or control pollution and therefore establish whether or not the applicant will be successful in securing a permit for the proposed use.

- No objections are raised subject to the inclusion of various conditions to deal with contamination. This includes a remediation strategy, verification reports, surface water drainage, piling / foundations.

Environmental Health

- 4.1.2. No objections are raised subject to conditions being imposed to secure floodlighting, sound and contamination remediation details.

Sport England

- 4.1.3. It has been advised that there are no objections subject to the imposition of conditions relating to the construction and management of the artificial pitches and hours of use.

Greater London Authority

- 4.1.4. The local planning authority is required to consult with the Mayor's Office where an application falls within one of the categories of potential strategic importance. Consultation with the Mayor's Office, is a two stage process, unless otherwise informed by the Mayor.
- 4.1.5. The stage one consultation response confirms that the Mayor considers that the application does not raise any strategic planning issues and that the application can be determined without further reference to the Mayor.
- 4.1.6. The council is however reminded that electric vehicle charging points should be provided and should therefore be subject to a condition. A construction logistics plan should also be secured by condition. It is requested that a copy of the decision notice and any S106 agreement is sent to the Mayor.

SUDS Officer

- 4.1.7. The following has been advised:

- There are no source control SuDS measures from the runoff from the club house and it's car park. There is therefore unrestricted runoff containing silts from the roof and hardstanding areas that encourage silting of the attenuation tank. This is not acceptable.
- 23 L/s discharge rate off site is acceptable based on the 1.5ha site area
- There has been no rationale behind the type of SuDS utilised in the drainage plan. Again, there is no source control SuDS measures (green roof, rain garden or permeable paving) utilised for the runoff generated by the club house and associated car park. There has been no reason given for the use of the tank as opposed to above ground SuDS measures such as ponds, detention basins etc.
- It was mentioned in the FRA that there is contaminated ground so full infiltration SuDS will not be used. However, partial infiltration can occur, and above ground SuDS (lined swales, basins, ponds) can be utilised.
- There are also no details of levels, cross sections and specifications of the drainage features.
- A detailed management plan is required, outlining the specific actions required to maintain the drainage features

Traffic & Transportation

4.1.8. It has been advised that no objections are being raised.

Tree Officer

4.1.9. It has been advised that there are a number of significant trees located around the boundary of both fields, particularly on the western field. No arboricultural reports have been submitted but it is likely that the construction of the bunds will have a detrimental effect on the root systems of the trees.

4.2. Public response

4.2.1. Letters were sent to 359 adjoining and nearby residents in addition to statutory site and press publicity. As a result, 10 letters of objection have been received raising some or all of the following points:

Amenity Issues

- Loss of light to property on Bowood Avenue due to new stands
- Loss of privacy in north-west corner
- Current pitch is higher than gardens, players can look straight into garden
- Ground levels should be taken back to original to maintain privacy
- When matches are currently being played, unable to hold a conversation or hear tv / radio. This happens twice a week.
- Will the area encourage anti-social behaviour?
- Additional pitches with maximum of 88 players plus supporters will increase nuisance throughout week
- PA system currently too loud
- Floodlights installed in 2001 are supposed to be switched off by 22:15. This is contravened on numerous occasions. New lighting should have cut-off timer.
- lights from the playing fields will shine into my home and I have a young son who will need to concentrate on his studies without the distraction of noise and lights.

Highway Issues

- Increase in traffic
- Loss of parking
- Is it possible to have yellow lines on either side of entrance to cul de sac on Goldsdown Road to stop vehicles from blocking the road?

Other matters raised

- Impact on property values because most owners bought into a quiet road / field at the back.
- Will the development impact on potential to sell property?
- Since erection of perimeter fence around the pitch, strip of land between that and houses from No.203 to north-west corner has been neglected and only cleared when previous work started. Used as a dumping ground, attracting vermin. Would like assurance that maintenance will be carried out regularly.
- Cannot tell how mounds relate to floor levels.
- What type of asbestos was found in the soil? Was imported soil tested?
- Will perimeter fence around main pitch be replaced?
- What is the capacity of the new stands?

- Will the floodlights be the same height as the existing?
- Why will light pollution documents only be done after plans agreed?
- What are the hours of proposed use of the lights?
- Will the grounds be secured when not in use?
- Increased danger from flooding
- When will works commence?
- All of the plans in this application show the private access from Mayfield Road ending at the boundary between nos 29 and 27 Mayfield Road. The access road actually ends on the boundary between nos 25 and 23. This may just be an error on the plans but if the perimeter fencing followed the current line shown in red on those plans, it would cut off rear access to numbers 27 and 25 Mayfield Road. This, of course, would be quite unacceptable

5. Relevant Policy

5.1. The London Plan

Policy 3.5	Quality and design of housing developments
Policy 5.1	Climate change mitigation
Policy 5.2	Minimising carbon dioxide emissions
Policy 5.3	Sustainable design and construction
Policy 5.5	Decentralised energy networks
Policy 5.6	Decentralised energy in development proposals
Policy 5.7	Renewable energy
Policy 5.8	Innovative energy technologies
Policy 5.9	Overheating and cooling
Policy 5.10	Urban greening
Policy 5.11	Green roofs and development site environs
Policy 5.13	Sustainable drainage
Policy 5.14	Water quality and wastewater infrastructure
Policy 5.16	Waste net self-sufficiency
Policy 5.18	Construction, excavation and demolition waste
Policy 5.19	Hazardous waste
Policy 5.21	Contaminated land
Policy 6.3	Assessing the effects of development on transport capacity
Policy 6.9	Cycling
Policy 6.12	Road network capacity
Policy 6.13	Parking
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.2	An inclusive environment
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.6	Architecture
Policy 7.14	Improving air quality
Policy 7.15	Reducing noise and enhancing soundscapes
Policy 7.19	Biodiversity and access to nature

5.2. Core Strategy

CP9:	Supporting community cohesion
CP20:	Sustainable energy use and energy infrastructure
CP21:	Delivering sustainable water supply, drainage and sewerage infrastructure
CP22:	Delivering sustainable waste management
CP24:	The road network

- CP25: Pedestrians and cyclists
- CP26: Public transport
- CP28: Managing flood risk through development
- CP30: Maintaining and improving the quality of the built and open environment
- CP32: Pollution
- CP36: Biodiversity
- CP46: Infrastructure contributions

5.3. Development Management Document

- DMD37 Achieving High Quality Design-Led Development
- DMD38 Design Process
- DMD44 Preserving and Enhancing Heritage Assets
- DMD45 Parking Standards
- DMD47 New Roads, Access and Servicing
- DMD48 Transport Assessments
- DMD49 Sustainable Design and Construction Statements
- DMD50 Environmental Assessment Methods
- DMD51 Energy Efficiency Standards
- DMD53 Low and Zero Carbon Technology
- DMD54 Allowable Solutions
- DMD55 Use of Roof Space / Vertical Surfaces
- DMD56 Heating and Cooling
- DMD57 Responsible Sourcing of Materials
- DMD58 Water Efficiency
- DMD59 Avoiding and Reducing Flood Risk
- DMD60 Assessing Flood Risk
- DMD61 Managing Surface Water
- DMD64 Pollution Control and Assessment
- DMD65 Air Quality
- DMD66 Land Contamination and Instability
- DMD68 Noise
- DMD69 Light Pollution
- DMD70 Water Quality
- DMD78 Nature Conservation
- DMD79 Ecological Enhancements
- DMD81 Landscaping

5.4. Other Relevant Policy Considerations

- National Planning Policy Framework
- National Planning Practice Guidance
- LBE S106 SPD
- Enfield Characterisation Study
- Community Infrastructure Levy Regulations 2010
- North East Enfield Area Action Plan (NEEAP) (June 2016)

6. **Analysis**

6.1. **Principle**

- 6.1.1. The principle of the re-use of the site for sporting activity is acceptable having regard to the existing use as a sports ground and the desire at national and local levels to protect and even enhance the provision of open space, sports and recreational facilities.

6.1.2. However, the overall acceptability of the scheme must be assessed against the additional impact from a much greater intensity of use of the site through enlarged clubroom facilities, parking facilities and additional sports pitches.

6.2. **Impact on the Character of the Area**

Design

- 6.2.1. There is clear guidance on the approach to the matter of design. The NPPF (section 7) confirms that the Government attaches great importance to the design of the built environment, with good design being a key aspect of sustainable development but Paragraph 59 of the NPPF confirms that design policies should “*avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, density, massing, height, layout, materials and access of new development in relation to neighbouring buildings and the local area more generally*”. Paragraph 60 further advises that “*decision should not impose architectural styles or particular tastes... [nor] stifle innovation, innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles...[although it is] proper to seek to promote or reinforce local distinctiveness*” while paragraph 61 advises that “*...decisions should address...the integration of new development into the natural, built and historic environment*”.
- 6.2.2. London Plan policies 7.4, 7.5 and 7.6 confirm the requirement for achieving the highest architectural quality, taking into consideration the local context and its contribution to that context. Design should respond to contributing towards “a positive relationship between urban structure and natural landscape features...”. Policy DMD 37 (Achieving High Quality and Design Led Development”) confirms the criteria upon which an application will be assessed. However, it also recognised there is a degree of subjectivity in the assessment of an acceptable design.
- 6.2.3. The proposed clubroom will be significantly larger than the existing as a result of consolidating the existing structures into one building and the desire to provide a facility to serve various other functions (as outlined above at para.2.3). The size of the proposed building is considered appropriate to the application site. Subject to securing appropriate details of the materials, the proposed clubroom will deliver a significant enhancement to the site.
- 6.2.4. The proposed layout is a more intensive use of the site however this is not without precedence, with aerial photographs as recent as 2013 clearly showing five pitches (including the main pitch) on the Stadium Site and one on the Downs Site. It should be noted that only the main pitch was floodlit. The four additional pitches on the Stadium Site are located nearer to the residential properties.
- 6.2.5. A key thrust of planning guidance is to optimise the potential of a site to accommodate development. It is considered that the proposed layout achieves this aim whilst still being sensitive to surrounding residential occupiers by maintaining sufficient distancing to boundaries.

6.3. **Impact on Neighbouring Properties**

Loss of Light / Outlook

Clubroom Facilities

- 6.3.1. The site is surrounded by dwellings fronting Mayfield and Bowood Roads to the west, Carterhatch Road to the north, Brimsdown Avenue to the west, and Osborne and Goldsdown Roads to the south. As the development proposal incorporates works of varying degree / scale over the entire 7.68 hectare site, each adjoining property will potentially be affected to varying degrees.
- 6.3.2. The proposed clubrooms will be significantly larger in terms of footprint and height than the various existing single storey structures. Moreover, it would be positioned approximately 40m north of the existing. At its nearest point, the proposed clubrooms will be sited approximately 15m from the common boundary with No.105 Bowood Road (25m between buildings) but this would be at an acute angle. In addition, replacement trees are proposed along the common boundary, which will help to screen the site.
- 6.3.3. Having regard to all of the above, it is considered that the proposed clubrooms will not unduly impact upon the existing residential amenity of the neighbouring occupiers with regards to loss of light and outlook.

Spectator Stands

- 6.3.4. The nearest dwellings to the west (Bowood Road Nos.107 to 117 odd) of the enlarged stand on the western end of the main pitch are sited between 38m (No.107) and 50m (No.117) distant. At this distance, it is considered that there will not be any detrimental impact on the existing amenity of those adjoining occupiers with regard to loss of light and outlook.
- 6.3.5. The nearest dwelling to the stand on the eastern end of the pitch is approximately 40m away from the nearest dwelling (No.235 Carterhatch Road). Given the level of distancing, being sited south of the properties fronting Carterhatch Road, and with only the 6m deep flank elevation facing those dwellings, there are no concerns with regard to loss of light and outlook.
- 6.3.6. The touchline stand on the northern side of the pitch will be approximately 32m away from the nearest dwellings fronting Carterhatch Road (Nos.211 to 223, odd). Moreover, those dwellings are located north of the site. It is therefore considered that there would be no impact in relation to loss of light and outlook to the aforementioned occupiers.
- 6.3.7. The touchline stand on the southern side of the pitch is approximately 65m away from No.105 Road and will only present its flank elevation towards that property. There are no concerns with regard to loss of light and outlook from this replacement stand.

Overlooking / Loss of Privacy / Distancing

Playing Surfaces

- 6.3.8. The development has involved the importation of a significant amount of soil which at present, are piled into various mounds around the site. Proposed plans show that ground levels will be raised and bunds will be formed around the perimeter of the site.
- 6.3.9. The main pitch will be raised approximately 1m, with the bund to the northern side rising approximately a further 0.5m. Neighbours on Carterhatch Road have advised

that they currently experience some overlooking due the elevated ground level of the main pitch.

- 6.3.10. Observations on site and spot height data would suggest that the existing main pitch is at a similar level to those properties. However, the existing spectator stand near to that northern boundary does include an uncovered section , which when standing at the top level, does offer some views towards those properties (where outbuildings do not prohibit this).
- 6.3.11. The main pitch cannot be lowered because of the need to provide a capping layer as a result of the historic use of the site as an industrial landfill. Whilst the existing situation must be acknowledged, further screening could potentially be provided along the entire length of the northern boundary. This would need to be secured through the submission of a detailed landscaping scheme. It should also be noted that with regard to proposed stands, the details will need to be secured by condition and the design will need to ensure that there is no opportunity to overlook the properties to its rear.
- 6.3.12. The additional playing pitches (including MUGA) would sit approximately 1.5m above ground level to the properties fronting Osborne Road but would be sited between 30m and 40m from the common boundary. At this level of distancing, there should not be any overlooking and loss of privacy, however it is considered that the proposed landscaping could be improved / strengthened along this boundary to further reduce any potential for overlooking, to provide a better visual setting and to contribute to the ecological enhancement of the site.
- 6.3.13. Properties to the east, along Brimsdown Avenue, are sited approximately 100m from the nearest MUGA (70m to their rear boundary) and would be separated by a large area of landscaped bunding. The level of distancing involved together with the bund will not result in undue overlooking and loss of privacy to those occupiers.
- 6.3.14. It should also be noted that the majority of adjoining residential properties have outbuildings at the end of their respective gardens, thus helping to further reduce any opportunity for overlooking and loss privacy.

Clubroom Facilities

- 6.3.15. A viewing deck, recessed into the roof, is proposed, which will wrap around the northern and eastern ends of the building. Due to its design and being primarily eastward facing towards the main pitch and MUGAs, does not raise any concern with regards to overlooking and loss of privacy to neighbouring residential occupiers.
- 6.3.16. At the northern end of the proposed viewing deck, a staircase projects out to provide a level access to the main pitch and down to the changing rooms. This element of the scheme should not lead to any undue overlooking or loss of privacy, however, to further help prevent this, it is considered that additional trees could be provided along the common boundary with those properties fronting Bowood Road. As advised elsewhere, this could be secured through the submission of a detailed landscaping scheme.
- 6.3.17. The proposals indicate that the existing belt of vegetation along the common boundary with properties fronting Bowood Road will be replaced. It is considered that additional trees could be provided, in particular along that part of the boundary to the rear of the main pitch, to further strengthen boundary screening but this would be the subject of a detailed landscaping proposal to be secured by condition.

6.3.18. Rear-facing windows are proposed for the new clubroom however these all consist of rooflights. From cross-sectional drawings, the internal design of the building would not allow for any overlooking from these windows. Moreover, the orientation of the building to the nearest residential building would not lead to overlooking and a loss of privacy.

Noise

6.3.19. Paragraph 123 of the NPPF considers noise impacts of development. It confirms that policies and decisions should aim to:

- avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development;
- mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions;
- recognise that development will often create some noise and existing businesses wanting to develop in continuance of their business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established; and
- identify and protect areas of tranquillity which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.

6.3.20. A Noise Assessment has been provided and gives good consideration to the impact of the proposed development on residents and assesses the impact on the basis of hourly averaged noise levels. The greatest concern associated with such sites is the short-term events, known as L_{max}. These short-term events generally cause problems as they are due to shouting during games and the use of PA systems and stand-out well above the general noise levels.

6.3.21. An acoustic bund is proposed, the details of which will need to be agreed in writing. It should be noted that proposed (and implemented) measures will not completely eliminate noise emanating from the use of the site. Regard must be given to the existing situation, which, notwithstanding the greater intensity of use proposed, should not be any worse.

6.3.22. Having regard to the above, it is considered that the development should not unduly impact on the existing amenity of neighbouring occupiers with regard to noise and disturbance. The development is considered to comply with Policy 7.15 of the London Plan, Core Policy 32, Policy DMD68 of the Development Management Plan.

Lighting

Playing surfaces

6.3.23. Given the sensitivities of the site, adjacent to residential dwellings, a lighting scheme should be designed to minimise the impact on these elements (light spillage / light trespass), whilst obviously providing the necessary level of lighting for functional use, and also having regard to existing lighting within the sports ground. For outdoor sporting provision, sports lighting can considerably extend the hours of use especially outside the summer months and is often critical to the viability of many facilities which rely on income from mid-week evening lettings to cover operating costs. Sports lighting is therefore essential if these sports facilities are to be used to their full

capacity and justify the level of capital required to provide them. Without sports lighting, opportunities for sport would be significantly restricted.

6.3.24. The existing site has four lighting columns around the main pitch. The development proposal will include:

- 4no. 15m high lighting columns around the main pitch
- 4no. 15m high lighting columns around the senior artificial pitch
- 18no. 8m high lighting columns around the 7no.5-a-side / MUGA pitches

6.3.25. With regard to the main pitch, although the proposed lighting columns will be taller than the existing (3m) and therefore more noticeable, modern directional floodlighting reduces the amount of light spillage beyond the immediate area. There should be no additional impact from the proposed replacement lighting columns around the main pitch.

6.3.26. Residents towards the eastern end of the site may notice more of an impact from the additional lights proposed for the senior training pitch and the 7no.5-a-side / MUGA pitches as this part of the site is currently undeveloped. However, the nearest facing windows to any of the additional 8m or 15 columns are approximately 56m distant. Retained and proposed trees (some atop bunds) will help screen some of the visual impact. It is considered however, that more could be achieved in terms of plantings but this could be subject to a more detailed landscaping condition.

6.3.27. The submitted Lighting Assessment is considered poor as it does not provide much in the way of detail for the proposed floodlights. The examples contained within it do not match the heights of the masts to be used, which are themselves not uncommon. The only variable should be the specific site circumstances which are dependent upon topography, existing screening and distancing to light sensitive receptors. Notwithstanding the submitted Lighting Assessment, full details of the proposed floodlights and impact from the chosen lights, (e.g. mitigation measures to further reduce spillage, number of lights per column, light hoods, wattage, illuminance plots etc) can be secured by condition. The hours of use for the lighting will also be subject to condition.

6.3.28. No lighting is proposed around the junior pitch in the south-west corner of the site.

Car Parking Areas

6.3.29. Lighting will be required to provide a suitably safe environment for the car parking areas, with the main concern being the extensive parking proposed for the western part of the site. It has been indicated within the Lighting Assessment that low level bollard lighting will be used. This is a type of lighting solution is widely used and considered to be appropriate for light sensitive areas. The parking areas to the east of the retained public footway running through the site will raise no additional concern in terms of impact on neighbouring occupiers from lighting.

6.3.30. Details of the car park lighting scheme will be secured by an appropriately worded condition.

6.3.31. It should be noted that although the main car park will have its ground level raised by approximately 1m, the proposed perimeter bund along the western boundary will approximately be an additional 1.25m in height.

6.4. Traffic and Highway Considerations

Traffic Generation / Parking

- 6.4.1. Comparable sites (i.e. Power League) and associated trip generation data from the TRICS database have been used. The survey sites were chosen on the basis of similar operation, similar PTAL, scale of operation and nature of facilities. This approach is considered acceptable. However the assessment of visitor numbers / movements is weak and assumes a generally low, non-specific amount. The TA considers that the 254 parking spaces provided on site is more than adequate to cater for visitor parking although this excludes the anticipated level of parking / trip generation associated with visitors. The propensity for locally generated trips is good with this location and also considering the Site's extant use. With regard to DMD Policy 48, it is therefore considered that the trip generation is now considered sufficiently robust.
- 6.4.2. Access by pedestrians and cycles will need to be promoted because the site is located east of the A1010 Cycle Enfield proposals. It is therefore proposed that a condition or obligation is included to secure a PERS (Pedestrian Environment Review System) and CLoS (Cycle Level of Service) audit between A1010 and A1055 (including certain side routes, especially connecting to the Site). The Applicant will be required to contribute to identified and agreed improvements.
- 6.4.3. With regard to DMD Policy 45, parking provision should comply with the London Plan. It is noted that the anticipated level of parking is likely to be high given the site's intended use and comparatively low access to public transport (i.e. PTAL 2). The TA concludes that parking provision should be more than adequate for the purposes of the proposed development.
- 6.4.4. Cycle parking appears to be sufficient. All cycle storage will need to be secure, in a location with good natural surveillance and sheltered from the weather.
- 6.4.5. No swept-path analysis has been provided for either the access, parking or footpath crossing areas. The layout proposed appears to broadly accord with general design standards but the details will need to be finalised and secured through conditions or obligations.
- 6.4.6. Parking spaces will need to be reconfigured to suit minibus dimensions without obstructing movement around the site or jeopardising individuals' safety. Active and passive charging points should also be provided in accordance with London Plan and DMD Policy 45 requirements. These elements can be conditioned.

Access

- 6.4.7. The existing access location (in-out) is to remain similar to the existing, although with internal changes to facilitate the movement of pedestrians and cars. The existing footpath is being retained, and will continue on a largely unchanged alignment to the existing. Although it is noted that vehicles are proposed to cross the footpath in order to access the parking areas, it is also proposed that the design, configuration and operation of this interaction point will prioritise pedestrian movement.
- 6.4.8. Although the design appears to broadly accord with current standards, access for emergency services and coaches will need to be more fully demonstrated. As advised, swept path analysis will need to be undertaken and can be secured by condition.

- 6.4.9. Road Safety Audits will also be required as part of the detailed design, linked to potential s278 works where the proposed designs interact with public highway. This will also need to be secured by condition.

Servicing

- 6.4.10. The proposed waste collection arrangement broadly complies with current design standards and is therefore considered acceptable, although details will need to be secured by condition / obligation.
- 6.4.11. The main concern relates to the volume of construction related trips. It is noted that the proposed works and high volume of imported fill provide a longer term environmental over the existing state of the Site. The immediate access points to the Site are currently covered by 5T weight limits although loading access is permitted. Again, the temporary nature of construction traffic is noted.
- 6.4.12. The TA notes that construction traffic may be focused on times outside the operation of nearby schools – notably Brimsdown Primary School – this is supported. The proposed construction routing is considered acceptable, although the introduction of a residents' / school / business consultation group is very strongly recommended.
- 6.4.13. A car park management plan would be beneficial in order to minimise the risk of overspill parking to the surrounding residential streets where parking pressures can, and have been observed to, be high.
- 6.4.14. A Construction Management Plan has not been provided although it is acknowledged that reference is made to providing one should the development be approved. This will be secured by an appropriately worded condition..
- 6.4.15. Having regard to the above, it is considered that the development provides acceptable parking and servicing facilities having regard to Policy 6.13 of the London Plan, and Policy DMD45 of the Development Management Document.

6.5. Sustainable Design & Construction

Energy Efficiency

- 6.5.1. The London Plan confirms that non-domestic buildings in the period 2013-2016 should be looking to achieve a 35% improvement on 2013 Building Regulations. A detailed Energy Strategy will need to be provided to clearly set out how the scheme will achieve (or exceed) the target savings. This information will be required prior to development commencing because the overall appearance of the building can be detrimentally affected, depending upon the measures proposed.

Biodiversity / Ecology

- 6.5.2. Policy 7.19 of the London Plan ("Biodiversity and access to nature") requires development proposals to make a positive contribution, where possible, to the protection, enhancement, creation and management of biodiversity. Core Policy 36 of the Core Strategy confirms that all developments should be seeking to protect, restore, and enhance sites. Policy DMD79 advises that on-site ecological enhancements should be made where a development proposes more than 100sqm of floor space, subject to viability and feasibility.

- 6.5.3. The western sector of the site is predominantly playing fields in current active use. The eastern sector generally comprises land stripped of soil (now grown over), with stockpiles of stripped material, along with a car park, stadium in current active use and associated club house and other ancillary buildings. The two sectors of the Site are variably bordered by hedgerow / tree belt and other peripheral vegetation
- 6.5.4. The initial appraisal indicates that whilst the majority of the site generally comprises playing fields or cleared land of minimal ecological interest, there are specific areas of mainly peripheral habitat to be retained, which could provide suitable habitat for a number of statutorily protected and other notable species eg. badgers and reptiles. There could also be a possible presence of roosting bats in buildings and/or a small number of trees within and close to the site. Parts of the site are also suitable for use by breeding birds. These possibilities have been assessed within the submitted Report and it has been established that:
- there is no evidence of badgers;
 - there is no suitable habitat for Great Crested Newts;
 - some parts of the site (identified on the “Habitat Zonation Drawing”) could have the potential to provide habitat for the slow worm, grass snake and common lizard, therefore a herpetological survey may be required should development occur in these areas.
 - None of the existing buildings provide suitable habitat for bats. Some of the existing trees have the potential (albeit, low) to provide roosts.
- 6.5.5. Whilst some perimeter trees and hedgerow will be retained, a substantial number will be removed to enable the redevelopment of the site. Vegetation clearance should only be permitted outside of the bird nesting season or if unavoidable within the nesting season, only under the supervision of an appropriately qualified ecologist. Should planning permission be granted, a condition could be reasonably imposed to secure this.
- 6.5.6. With regard to enhancements, the Ecological Appraisal recommends that a Nature Conservation Management Plan is produced for all new and retained habitat, to include replacement planting as necessary, establishment maintenance, and a management strategy / monitoring. This also includes the provision of bird and bat boxes.
- 6.5.7. Notwithstanding the above, there has been no discussion on the provision of a biodiverse / green roof and living walls, which would also contribute to flood risk alleviation. There are green roof systems which would enable their provision on pitched roofs. The issue is whether this will be feasible at all but to not have any regard is considered unacceptable and contrary to DMD59, 61 & DMD79.
- 6.5.8. The recommendations contained within the Ecological Appraisal will be conditioned. In addition, a further condition will be imposed to investigate the feasibility of providing a biodiverse / green roof. As discussed above, a lighting condition will be imposed to ensure that any proposed lighting is sensitive to the surrounding environment. From an ecological perspective, this will include wildlife habitat.

Trees / Landscaping

- 6.5.9. An Arboricultural Assessment has not been provided. As currently proposed, the toe of the bund will be in close proximity to some retained trees. Increasing ground levels around the base of a tree can potentially harm its long-term life expectancy, therefore

it is recommended that where the bund finishes in close proximity to an existing tree, as a minimum it should be no nearer than the outer extent of the root protection area of the relevant tree. Conditions are proposed to secure a revised detailed layout plan, an arboricultural constraints plan, and a tree protection plan.

- 6.5.10. Having regard to the above, it is considered that the development proposals should not unreasonably impact on the health of retained trees, and where existing planting will be removed, sufficient replacement planting is proposed.

Drainage

- 6.5.11. London Plan policies 5.12 and 5.13 requires the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 (“Managing flood risk through development”) confirms the Council’s approach to flood risk, inclusive of the requirement for SuDS in all developments. Policies DMD59 (“Avoiding and reducing flood risk”) confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that Planning permission will only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties. DMD61 (“Managing surface water”) requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates.
- 6.5.12. A Flood Risk Assessment / Sustainable Drainage Strategy has been submitted in support of the application. The Report concludes that the proposed development (within Flood Zone 1) is at a low risk of flooding. With regard to SuDS, infiltration based techniques are not considered appropriate due to site contamination issues.
- 6.5.13. Although the conclusions of the submitted Report are acknowledged, the points raised by the SuDS Officer are also noted. It is considered that a condition could be reasonably imposed to secure a drainage strategy and management plan to address the concerns of the SuDS Officer.

Site Waste Management

Construction Waste

- 6.5.14. Policy 5.16 of the London Plan has stated goals of working towards managing the equivalent of 100% of London’s waste within London by 2031 (by 2026 as stated in FALP), creating benefits from waste processing and zero biodegradable or recyclable waste to landfill by 2031. This will be achieved in part through exceeding recycling and reuse levels in construction, excavation and demolition (“CE&D”) waste of 95% by 2020.
- 6.5.15. In order to achieve the above, London Plan policy 5.18 confirms that through the Local Plan, developers should be required to produce site waste management plans to arrange for the efficient handling of CE&D. Core Policy 22 of the Core Strategy states that the Council will encourage on-site reuse and recycling of CE&D waste.
- 6.5.16. Details of a construction waste management plan have not been submitted with the application. This detail can be secured through an appropriately worded condition.

Operational Waste

- 6.5.17. To understand the potential waste generation of the facility whilst in operation, a Waste Management Plan (“WMP”) should be provided detailing the waste minimisation proposals and the proposed strategy for dealing with waste generated from the use of the site. Whilst one has not been provided, a WMP can reasonably be secured by condition.

Contamination

- 6.5.18. Having regard to the existing use of the site as a nursery, and the former use as an orchard, consideration must be given to land contamination (London Plan policy 5.22 and DMD66). To enable an understanding of any potential contaminants and the likely impact on receptors from these former uses, a *Land Appraisal and Contamination Report* has been submitted.
- 6.5.19. The Report identifies that the site was previously used as an industrial landfill operated by Johnson Matthey between 1913 and 1958. As a result of this, near-surface contamination does exist, posing either a physical or chemical risk. A remediation strategy has been proposed which includes a 600mm capping layer, thickened to 1m because of the need to provide drains to a depth of 400mm to ensure adequate drainage of the playing surface.
- 6.5.20. Although capping could potentially result in landfill gas migration, it is considered that the risk from this is low due to the age and nature of the waste. However, it is proposed to install perimeter monitoring points during the remediation phase to record existing levels of methane and carbon dioxide.
- 6.5.21. A quantitative risk assessment will need to be provided and an assessment on the risk to controlled waters. The development should not commence until a scheme to deal with the contamination of the site including an investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health and the environment.
- 6.5.22. The importation of waste is governed by the Environment Agency’s Permitting Regime.

6.6. Employment and Training

- 6.6.1. Core Policy 16 of the Core Strategy confirms the commitment of the Council to promote economic prosperity and sustainability in the Borough through a robust strategy to improve the skills of Enfield’s population. One initiative is, through the collaboration with the Boroughs of Haringey, Broxbourne, Epping and Waltham Forest, to promote skills training for local people.
- 6.6.2. The Strategy will need to set out how the development will engage with local contractors / subcontractors, the number of trainees to be employed on site and the number of weeks training will be provided. Details of a Local Employment Strategy could be secured by condition.

6.7. Community Infrastructure Levy

- 6.7.1. The development is not CIL liable as it is for a leisure / community use.

6.8. Section 106

6.8.1. Having regard to the contents of the content above, it is recommended that should planning permission be granted, the following obligations should be sought:

- Securing the local sourcing of labour
- Securing the local supply of goods and materials
- Securing on-site skills training
- Entering into a s278 Agreement for associated highways works

6.9. Other Matters Raised

6.9.1. Boundary issues are a civil matter

7. Conclusions

7.1. The development proposal is considered to make a more effective use of the site to provide additional sport, recreational and community facilities. Moreover, there would be no additional impact from the provision of the clubrooms than the existing despite its greater size.

7.2. Taking all material planning considerations into account it is considered that the development should be approved for the following reasons:

1. The proposed development, having regard to its size, siting and design and by virtue of conditions imposed has appropriate regard to its surroundings, the character and amenities of the local area and those of adjoining occupiers in terms of loss of light, privacy, outlook, noise and disturbance, having regard to Policies 7.1, 7.4 & 7.6 7.15 of The London Plan, Core Policy 30, Policies DMD8, DMD10, DMD11, DMD68 of the Development Management Document.
2. The development makes appropriate provision for access and servicing and should not lead to conditions detrimental to highway safety on having regard to Policy 6.3 of The London Plan, DMD47 of the Development Management Document.
3. The proposed development, by virtue of the measures proposed and conditions imposed, should achieve an acceptable level of sustainable design and construction having regard to Policies 5.1, 5.2, 5.3, 5.6, 5.7, 5.8 & 5.9 of the London Plan, Core Policies 20, 21, 22, & 26 of the Core Strategy, Policies DMD49, DMD51, DMD53, DMD55, DMD56, DMD58, DMD59, DMD60, DMD61, DMD69, DMD78, DMD79, DMD81 of the Development Management Document.

8. Recommendation

8.1. That planning permission is GRANTED subject to conditions:

1. Approved Plans – as Amended
Unless required by any other condition attached to this permission, the development shall be undertaken in accordance with the approved plans, including plans that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interest of proper planning.

2. Time Limited Permission

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004

3. Details of Materials

Above ground construction works shall not commence until details of the external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

4. Levels

Unless otherwise approved in writing, the development hereby approved shall only be undertaken in accordance with the detailed levels as provided on Drawing No.101.

Reason: To ensure that levels have appropriate regard to the level of surrounding development, gradients and surface water drainage.

5. Details of Hard Surfacing

Above ground construction works shall not commence until details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings have been submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

6. Highways Related Audits

The development hereby approved shall not commence until such time as the following audits have been submitted to and approved in writing by the Local Planning Authority:

- a. Stage 2 Road Safety Audit;
- b. PERS Audit between A1055 and A1010; and
- c. CLoS Audit between A1055 and A1010

The works shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: In the interest of highway safety.

7. Construction Methodology

Development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

- a. a photographic condition survey of the roads, footways and verges immediately adjacent to the site;

- b. details of construction access, including any temporary heavy duty access, and associated traffic management to the site;
- c. details of the phasing of construction works;
- d. arrangements for the loading, unloading and turning of delivery, construction and service vehicles clear of the highway;
- e. arrangements for the parking of contractors vehicles;
- f. arrangements for wheel cleaning;
- g. arrangements for the storage of materials;
- h. hours of work;
- i. number and type of vehicle movements;
- j. Coordination with local schools to avoid peak school drop-off and pick up times;
- k. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition';
- l. size and siting of any ancillary buildings.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

8. Parking / Turning Facilities

Notwithstanding the submitted proposed site layout plan, the development shall not commence until a revised plan has been submitted to the Local Planning Authority and approved in writing, detailing parking and turning facilities to be provided in accordance with the standards adopted by the Local Planning Authority, inclusive of suitable parking for minibuses and coaches. The parking facilities shall be constructed in accordance with the approved details before the development is occupied and shall be maintained for this purpose.

Reason: To ensure that the development complies with adopted standards and does not prejudice conditions of safety or traffic flow on adjoining highways.

9. Loading / Unloading / Turning Facilities

The development shall not commence until details showing facilities for the loading, unloading and turning of vehicles clear of the highway have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be constructed in accordance with the approved details before the development is occupied and shall be kept free from obstruction and maintained for this purpose.

10. Reason: To ensure that the development complies adopted Policy and does not prejudice conditions of safety or traffic flow on adjoining highways.

11. Details of Access and Junction

The development shall not commence until details of the construction of any access roads and junctions and any other highway alterations associated with the development (inclusive of pedestrian paths linking the car park to the clubrooms) have been submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in accordance with the approved details before development is occupied or the use commences.

Reason: To ensure that the development complies with adopted Policy and does not prejudice conditions of safety or traffic flow on adjoining highways.

12. Swept Path Analysis

The development shall not commence until a swept path analysis demonstrating acceptable access and manoeuvring within the site for emergency vehicles and coaches has been provided to the Local Planning Authority and approved in writing.

Reason: To ensure that the development complies adopted Policy and does not prejudice conditions of safety or traffic flow on adjoining highways.

13. Electric Charging Points

Prior to development commencing, details for electric vehicle charging points (no less than 10% active and 10% passive of the total parking provision proposed) shall be provided to the Local Planning Authority for approval in writing. All electric charging points shall be installed in accordance with the approved details prior to first use of the facilities approved and permanently retained and maintained thereafter.

Reason: To ensure that the development complies with the sustainable development policy requirements of the London Plan.

14. Cycle Parking

The details of the secure covered cycle parking facilities shall be submitted for approval in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details prior to the first use of the development authorised by this permission.

Reason: To encourage sustainable means of transport and to ensure that the design, size, siting and materials of the cycle store are appropriate to the architectural and historic interest of the Listed Building.

15. Car Park Management Plan

Prior to the commencement of the development hereby permitted, details showing facilities and strategy to manage delivery/taxis/car and coach arrivals and departures clear of the highway shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall be adopted and facilities shall be constructed in accordance with the approved details before the development is occupied and shall be kept free from obstruction and maintained for the duration of the use unless the prior written approval of the Local Planning Authority is obtained to any variation. The Strategy should include:

1. Car park plan with clearly marked out bays;
2. Contact details (telephone/ email ,name) of a person/company responsible for managing the car park;
3. Proposed parking controls proposed to keep clear the turning areas for delivery/service vehicles;
4. Management of the risk of overspill parking;
5. How will pedestrian access routes be kept clear?
6. How will visitors be accommodated;
7. What enforcement regime is proposed;
8. How often will the plan be reviewed and by whom (provide contact details);
9. Maintenance regime for apparatus/furniture –lighting etc;

10. Details of parking charges/fees;
11. Number of 'accessible'/disabled bays, disabled bays distribution and monitoring of take up and how it connects with the Travel Plan; and
12. Proposed type car parking spaces allocation across site (first come first served basis, etc.).

Reason: To ensure that the proposals do not prejudice conditions of safety or traffic flow on adjoining highways and does not adversely impact on operation and parking provision of the nearby uses and existing residents.

16. Deliveries and Collections

Deliveries and collections to and from the premises shall only take place between the hours of 0700hours and 2000hours Monday to Saturday only and not at all on Sundays and Bank Holidays, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To safeguard the amenities of the occupiers of nearby residential properties.

17. Details of Refuse Storage

Within three months of commencement of the development approved, details of refuse storage facilities (design, size, siting) including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield – Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The refuse storage facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interest of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

18. Details of Fume Extraction

Prior to first use of the kitchen facilities, details of the specification and appearance of any fume extraction and/or ventilation plant required in connection with the use shall be submitted to the Local Planning Authority for approval in writing. The plant shall be installed in accordance with the approved details and permanently maintained.

Reason: To ensure a satisfactory appearance and safeguard amenity.

19. Contamination - Remediation Strategy

No development approved by this planning permission shall take place until a remediation strategy that includes the following components to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the local planning authority:

1. A preliminary risk assessment which has identified:
 - a. all previous uses
 - b. potential contaminants associated with those uses
 - c. a conceptual model of the site indicating sources, pathways and receptors
 - d. potentially unacceptable risks arising from contamination at the site.
2. A site investigation scheme, based on (1) to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.

3. The results of the site investigation and the detailed risk assessment referred to in (2) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
4. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (3) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express written consent of the local planning authority. The scheme shall be implemented as approved.

Reason: To prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution.

20. Contamination - Verification Report

No occupation of any part of the permitted shall take place until a verification report demonstrating completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason: To prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution.

21. Contamination – Additional contamination

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted a remediation strategy to the local planning authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the local planning authority. The remediation strategy shall be implemented as approved.

Reason: To prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution.

22. Infiltration

No infiltration of surface water drainage into the ground is permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters. The development shall be carried out in accordance with the approval details.

Reason: To prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution.

23. Sub-surface works

Piling or any other foundation designs / investigation boreholes / tunnel shafts / ground source heating and cooling systems using penetrative methods shall not be permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason: To prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution. Piling or any other foundation designs / investigation boreholes / tunnel shafts / ground source heating and cooling systems using penetrative methods can result in risks to potable supplies from, for example, pollution / turbidity, risk of mobilising contamination, drilling through different aquifers and creating preferential pathways.

24. Restriction of Open Storage

No plant, machinery, goods, products or waste material shall be deposited or stored on any open part of the site unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interest of amenity and the appearance of the site.

25. Energy

Notwithstanding any submitted document, development shall not commence until an Energy Statement, detailing the measures to be implemented in order to meet with or exceed a 35% improvement over Part L of the 2013 Building Regulations, inclusive of the use of renewable energy technologies, has been submitted to the Local Planning Authority and approved in writing. Where renewable energy technologies are to be utilised, for each of the renewable energy technologies that are considered feasible, the detail shall include:

- (a) The resulting scheme, together with any machinery/apparatus location, specification and operational details;
- (b) A management plan and maintenance strategy/schedule for the operation of the technologies;
- (c) A servicing plan including times, location, frequency, methodology.

The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets by renewable energy are met in accordance with adopted policy.

26. Energy Performance Certificate

Following practical completion of works a final Energy Performance Certificate shall be submitted to the Local Planning Authority for approval in writing. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority is satisfied that CO2 emission reduction targets are met in accordance with adopted policy.

27. Biodiverse / Green Roof

The development shall not commence until details have been provided to the Local Planning Authority for approval in writing demonstrating the feasibility or otherwise of providing a biodiverse green / brown roof. The submitted detail shall include: design, substrate (extensive substrate base with a minimum depth 80-150mm), vegetation mix and density, and a cross-section of the proposed roof.

The biodiverse roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape.

The biodiverse roof shall be implemented in accordance with the approved details prior to first occupation and maintained as such thereafter. Photographic evidence of installation is to be submitted and approved in writing by the Local Planning Authority.

Reason: To assist in flood attenuation and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted Policy.

28. Living Walls

Details of the feasibility for providing "living walls" to the approved clubhouse shall be submitted to the Local Planning Authority for approval in writing prior to first use commencing. The submitted details shall include:

- (a) Locations for planting of "living walls";
- (b) Type and density of native wildlife friendly plantings;

Should the Local Planning Authority consider that the provision of living walls is feasible, plantings shall be provided within the first planting season following practical completion of the development. Any planting which dies, becomes severely damaged or diseased within five years of completion of the development shall be replaced with new planting in accordance with the approved details or an alternative approved in writing by the Local Planning Authority.

Reason: To enhance the ecological value of the site and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted policy, and to ensure highway safety.

29. Landscaping

Notwithstanding any submitted plan, a landscaping plan shall be submitted to the Local planning Authority for approval in writing prior to any works commencing. The Landscaping plan shall include:

- a. Planting plans to include enhanced planting around the entire perimeter of the site;
- b. Written specifications (including cultivation, maintenance and other operations associated with plant and grass establishment);
- c. Schedules of plants and trees, to include native and wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities);
- d. Implementation timetables;
- e. Wildlife friendly plants and trees of local or national provenance;
- f. Specifications for any boundary treatment demonstrating how hedgehogs and other wildlife will be able to continue to travel across the site.

Plantings shall be provided no later than the first planting season following practical completion of the development. Any planting which dies, becomes severely damaged or diseased within five years of completion of the development shall be replaced with new planting in accordance with the approved details or an alternative approved in writing by the Local Planning Authority.

Reason: To enhance the ecological value of the site, to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted policy, to ensure highway safety and to safeguard the residential amenity of neighbouring occupiers.

30. Tree Protection

No works or development shall take place until an Arboricultural Method Statement (BS5837:2012) has been submitted to the Local Planning Authority and approved in writing. The Method Statement shall ensure, where necessary, that any retained tree is sufficiently protected from increased ground levels and no works are undertaken within the root protection area of the retained tree.

Reason - To ensure that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development, and to screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity, having regard to adopted Policy.

31. Vegetation Clearance

All areas of trees, hedges, scrub or similar vegetation where birds may nest, which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that nesting birds are not adversely affected upon by the proposed development.

32. Biodiversity Enhancements

The enhancement proposals as set out within section 4.2 of the Ecological Appraisal shall be implemented in accordance with details (design, size, number, location, as appropriate) to be provided to the Local Planning Authority for approval in writing. The submitted detail shall also include a Nature Conservation Management Plan for all new and retained habitat, to include plant replacement as necessary, establishment maintenance, followed by a strategy of low key, appropriate, conservation management and monitoring.

Reason: To enhance the site post development in line with Core Policy 36.

33. Details of Spectator Stands

No spectator stand shall be erected until their details (inclusive of design and materials) have been submitted to the Local Planning Authority and approved in writing. The spectator stands shall be erected in accordance with the approved detail and permanently maintained.

Reason: To ensure an acceptable appearance and in the interest of safeguarding the privacy of neighbouring residential occupiers.

34. Drainage

Development shall not commence until a revised drainage scheme has been submitted to the Local Planning Authority and approved in writing. The drainage scheme shall dispose of surface water by means of a sustainable drainage (SUDS) scheme, in accordance with the principles of sustainable drainage systems set out in national planning policy guidance and statements, and the results of that assessment have been provided to the Local Planning Authority. The assessment shall take the following into account:

- a. Source control measures (e.g. green roofs, rain gardens, permeable paving);
- b. The use of lined swales, ponds, basins;
- c. Details of levels, cross sections and specifications of the drainage features;
- d. A design which allows for flows that exceed the design capacity to be stored on site or conveyed off-site with minimum impact
- e. A clear rationale for the proposed SUDS measures;
- f. A Management Plan outlining the specific actions required to ensure long-term maintenance;
- g. the design storm period and intensity for a 1 in 100 year storm event with the allowance for climate change; and
- h. measures to prevent pollution of the receiving groundwater and/or surface waters

The approved drainage measures shall be implemented and permanently maintained.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere, and to reduce the risk of pollution.

35. Drainage Verification

Prior to occupation of the development, a Verification Report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing. This report must include:

- a. As built drawings of the sustainable drainage systems
- b. Level surveys of completed works
- c. Photographs of the completed sustainable drainage systems
- d. Any relevant certificates from manufacturers/ suppliers of any drainage features
- e. A confirmation statement of the above signed by a chartered engineer

Reason : To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy and Policies 5.12 & 5.13 of the London Plan and the NPPF

36. Noise Attenuation

The development shall not commence until details of the design, size, siting and minimum density of an acoustic bund / barrier to limit sound generated from the use of the site being audible beyond the site boundary has been submitted to the Local Planning Authority and approved in writing.

Reason: To minimise any additional impact on neighbour amenity from noise generated by the approved development and to

37. Ongoing Noise Mitigation

The use of the development authorised by this permission shall not begin until a written scheme of ongoing noise monitoring and mitigation has been submitted to and approved in writing by the Local Planning Authority.

Reason: To protect the existing amenity of nearby residential occupiers and to ensure that any mitigation measures are effective.

38. Lighting – Car Park

No works shall commence on the provision and installation of external lighting along the access road and car park until their details have been submitted to the Local Planning Authority and approved in writing. The details shall include:

- a. Design;
- b. Siting;
- c. Lux levels;
- d. Measures to limit the impact of light spillage onto light sensitive premises.

The approved lighting shall be provided before the development is occupied or first use commences.

Reason: In the interest of protecting the amenity of the residential occupiers and the minimal disruption to wildlife friendly habitats whilst being cognizant of the need to provide suitable levels of lighting.

39. Lighting – Floodlights

No floodlight shall be erected until the following details have been submitted to the Local Planning Authority and approved in writing:

1. Illuminance plots to demonstrate impact on all adjoining residential properties;
2. Measures to secure directional control
3. Number of lights per column;
4. Luminance levels; and
5. Mitigation measures to reduce light spillage

The floodlights shall only be erected in accordance with the approved detail.

Reason: To safeguard the amenity of neighbouring residential occupiers and

40. Hours of Use – Sports Pitches

Unless otherwise agreed in advance and in writing by the Local Planning Authority, the artificial grass pitch, grass sports pitch and multi-use games areas and its associated sports lighting shall not be used outside the hours of 0800hours and 2200hours Monday to Saturday and 0800hours and 2000hours on Sundays and Bank Holidays.

Reason: To balance illuminating the [named playing field/sports facility] for maximum use with the interest of amenity and sustainability and to accord with Development Plan Policy

41. Hours of Use – Clubroom facilities

The clubroom facilities hereby approved shall only be open between the hours of 0800hours and 2300hours Monday to Saturday and 0800hours and 2100hours

on Sundays and Bank Holidays, unless otherwise approved in writing by the Local Planning Authority.

Reason: To safeguard the amenities of the occupiers of nearby residential properties.

42. Artificial Pitch Construction

The artificial grass pitch and Multi-Use Games Areas hereby permitted shall not be constructed other than substantially in accordance with Sport England/National Governing Body Technical Design Guidance Notes; Artificial Surfaces for Outdoor Sport or FA Guide to Football Turf Pitch Designs and Layouts

Reason: To ensure the development is fit for purpose and sustainable and to accord with Development Plan Policy

43. Artificial Pitch

Before the artificial grass pitch is brought into use, a Management and Maintenance Scheme for the facility including management responsibilities, a maintenance schedule and a mechanism for review shall be submitted to and approved in writing by the Local Planning Authority. This should include measures to ensure that the surface is replaced at the end of its usual lifespan. The measures set out in the approved scheme shall be complied with in full, with effect from commencement of use of the artificial grass pitch.

Reason: To ensure that a new facility is capable of being managed and maintained to deliver a facility which is fit for purpose, sustainable and to ensure sufficient benefit of the development to sport and to accord with Development Plan Policy

44. Construction Waste Management Plan

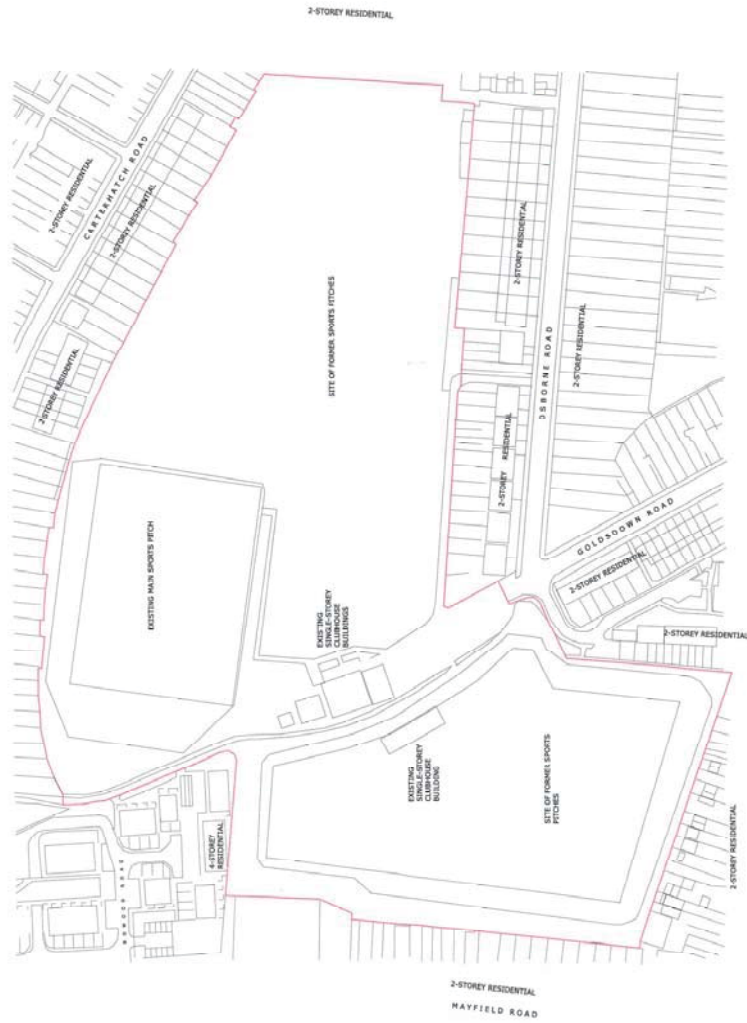
The development shall not commence until a Construction Waste Management Plan has been submitted to the Local Planning Authority for approval in writing. The plan should include as a minimum:

- a. Target benchmarks for resource efficiency set in accordance with best practice
- b. Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste.
- c. Procedures for minimising hazardous waste
- d. Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works)
- e. Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups

In addition no less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19, 5.20 of the London Plan.

AMENDMENTS:



NOTE:
THE INFORMATION OF THIS DRAWING
INCLUDED HEREON IS FOR INFORMATION ONLY AND IS NOT TO BE
USED FOR CONSTRUCTION OR ANY OTHER PURPOSES.
A FULL CONTRACT DOCUMENT SET MUST BE COMPLETED
BEFORE ANY WORK COMMENCES.
ALL EXISTING AND PROPOSED DIMENSIONS AND LEVELS MUST BE
VERIFIED ON-SITE BEFORE COMMENCING WORK.

PROPOSED DEVELOPMENT AT
BRIMSDOWN SPORTS GROUND
BRYFIELD

151010631 FULL

MCLAREN ASSOCIATES
ARCHITECTS AND URBAN CONSULTANTS

BRIMSDOWN
SITE LOCATION

PROPOSED DEVELOPMENT AT
BRIMSDOWN SPORTS GROUND
BRYFIELD

DATE	11/2010 (AU)
DATE	APRIL 2011
DATE	2011/04
DATE	DP

868 61

BRIMSDOWN SPORTS GROUND, ENFIELD



AMENDMENTS:

NOTE: THIS PLAN IS A REVISION OF THE ORIGINAL PLAN. IT INCLUDES ALL CHANGES TO THE ORIGINAL PLAN. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE ACCURACY OF ALL INFORMATION AND LEVELS SHOWN. ALL EXISTING AND PROPOSED DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BEFORE COMMENCING WORK.

DATE: 15/10/2015
PROJECT: BRIMS DOWN SPORTS GROUND
LOCATION: ENFIELD

15 | 10 | 2015 | FUL

MCLAREN ASSOCIATES
ARCHITECTURAL AND DESIGN CONSULTANTS

SCALE: 1:1000

SITE AMENDMENT
AS EXISTING

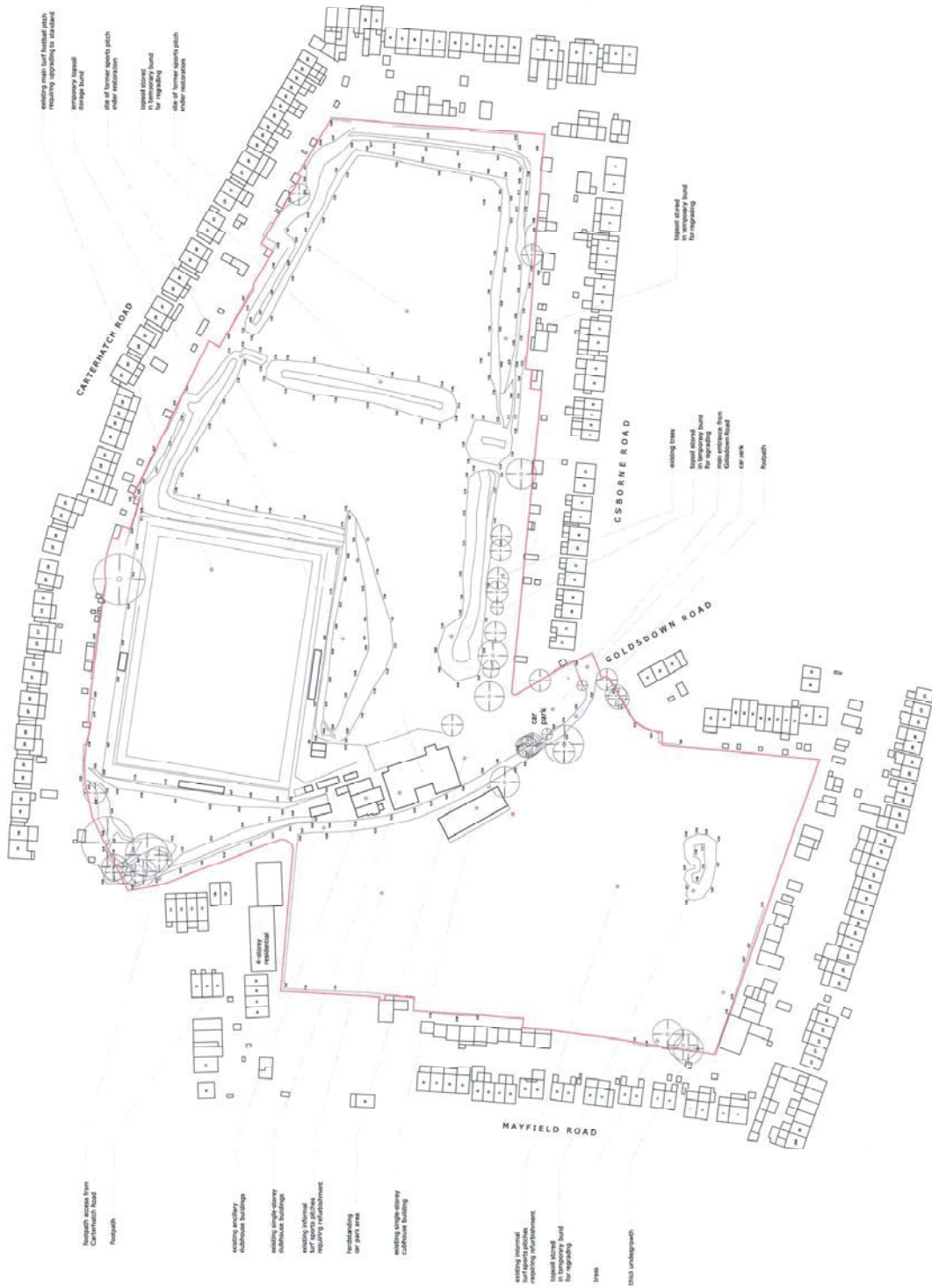
BRIMS DOWN SPORTS GROUND
2 BRIMS DOWN SPORTS GROUND, ENFIELD, MIDDLESEX, ENGLAND

DATE: 15/10/2015

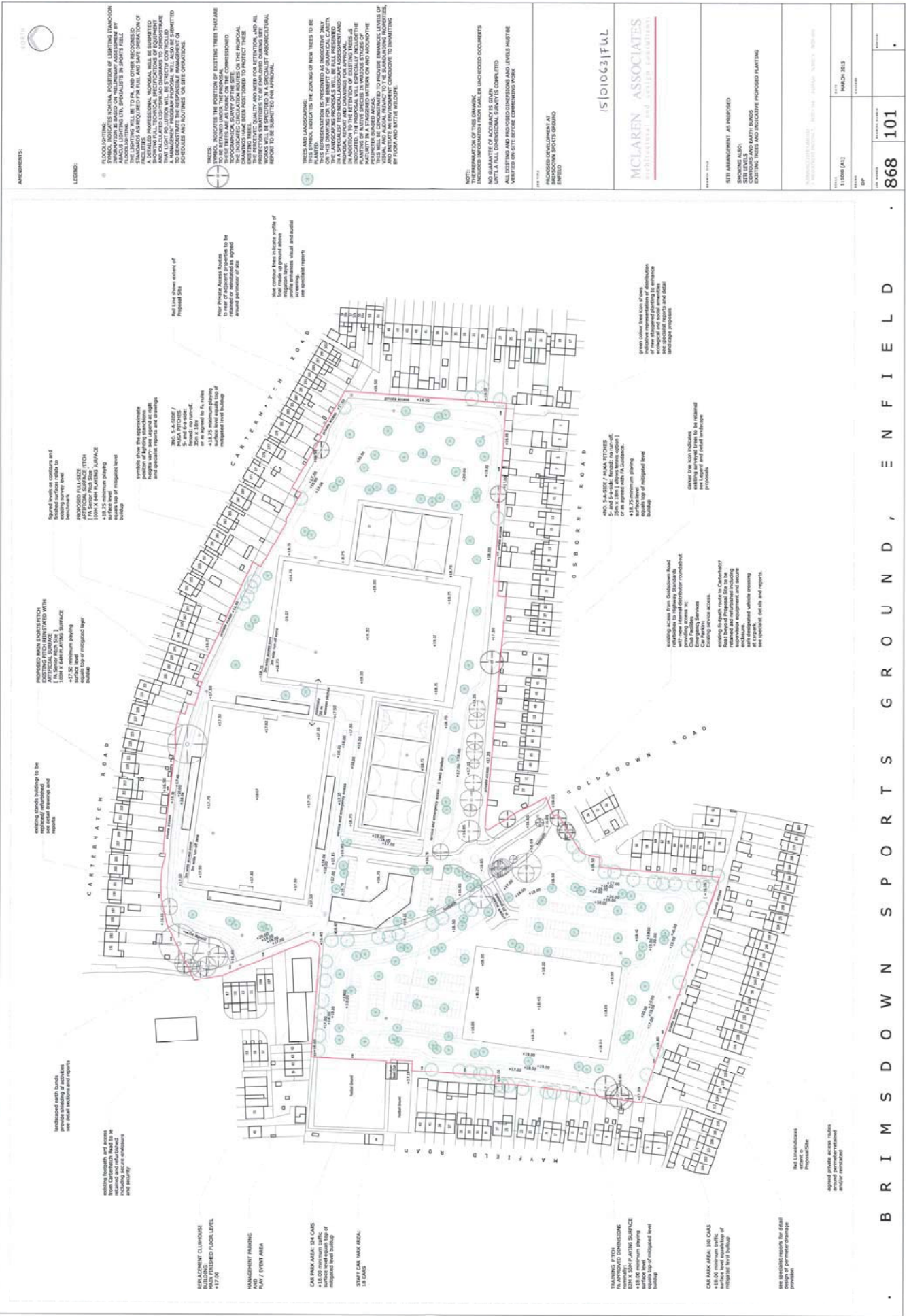
BY: [Signature]

PROJECT NO: 103

BRIMS DOWN SPORTS GROUND, ENFIELD



868 103



AMENDMENTS:

LEGEND:

FLOOD LIGHTING:
SYMBOL INDICATES NOMINAL POSITION OF LIGHTING STANDARD. APPROXIMATE POSITION OF LIGHTING STANDARD TO BE LOCATED BY ARCHITECTURAL LIGHTING SPECIALISTS TO SPORTS FIELD. THE LIGHTING WILL BE TO FA AND OTHER RECOMMENDED FACILITIES AS REQUIRED FOR FULL AND BARE OPERATION OF FACILITIES. AS REQUIRED FOR FULL AND BARE OPERATION OF FACILITIES, ALL TECHNICAL SPECIFICATIONS OF EQUIPMENT SHALL BE PROVIDED TO THE CLIENT FOR APPROVAL. THE LIGHT POLLUTION WILL BE MINIMIZED THROUGH THE USE OF SHIELDING AND BARRIERS TO PREVENT LIGHT FROM ESCAPING THE SITE. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHT POLLUTION CONTROL SCHEDULES AND ROUTINES FOR SITE OPERATIONS.

TREES:
EXISTING TREES TO BE REMOVED OR EXISTING TREES THAT ARE TO BE RETAINED SHALL BE IDENTIFIED BY THE ARCHITECT ON THE INDICATED CHANGELINE PLANS ON THE PROPOSAL. ALL EXISTING TREES SHALL BE IDENTIFIED BY THE ARCHITECT ON THE PROPOSAL. ALL TREES TO BE REMOVED OR EXISTING TREES THAT ARE TO BE RETAINED SHALL BE IDENTIFIED BY THE ARCHITECT ON THE PROPOSAL. ALL TREES TO BE REMOVED OR EXISTING TREES THAT ARE TO BE RETAINED SHALL BE IDENTIFIED BY THE ARCHITECT ON THE PROPOSAL.

TREES AND LANDSCAPING:
NO GUARANTEE OF ACCURACY IS GIVEN. ALL EXISTING AND PROPOSED DIMENSIONS AND LEVELS MUST BE VERIFIED ON SITE BEFORE COMMENCING WORK.

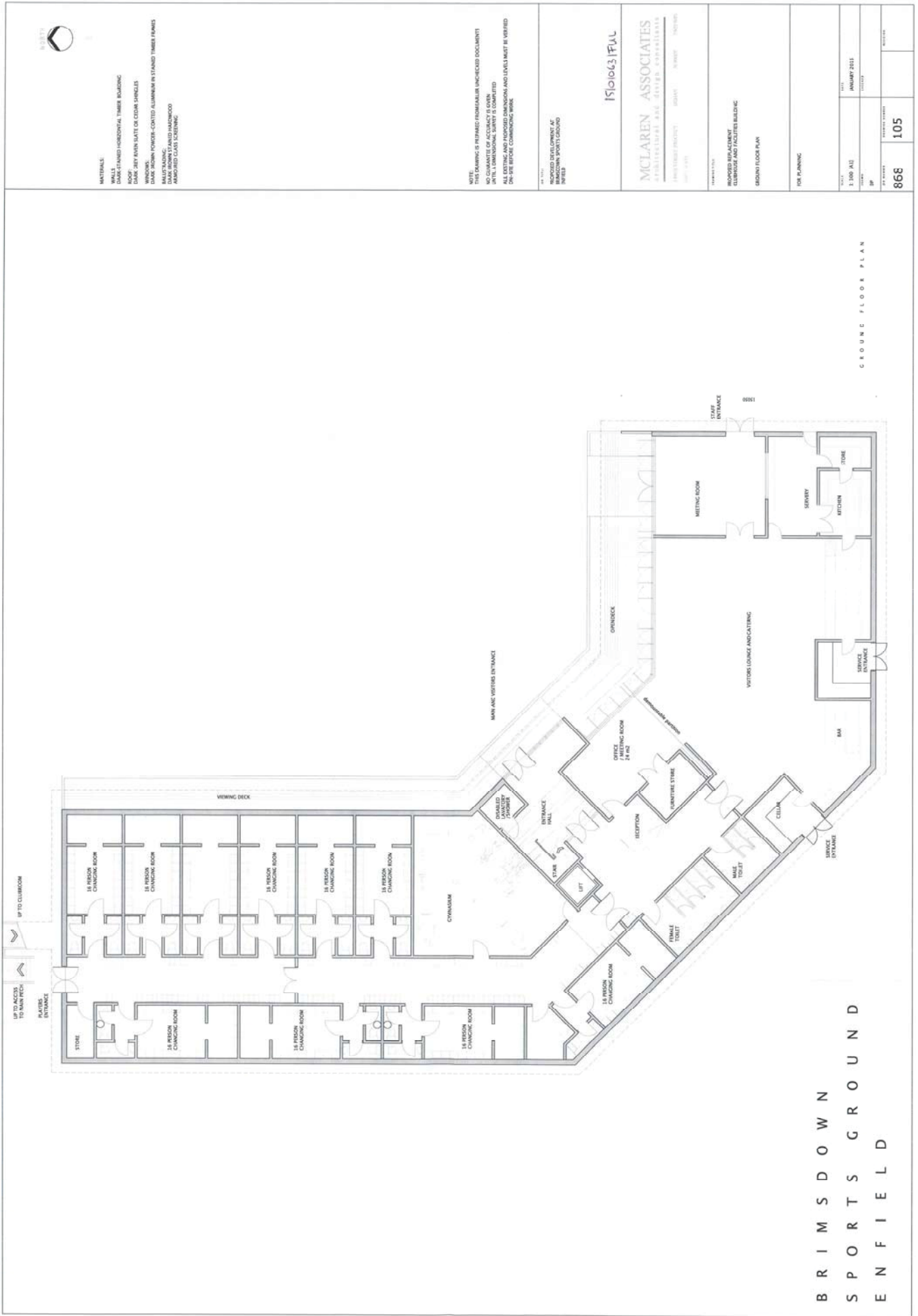
15/10/23 JFL

MCLAREN ASSOCIATES
ARCHITECTURAL AND DESIGN CONSULTANTS

SETBACK ARRANGEMENT AS PROPOSED
SHOWING ALSO:
SITE LEVELS
EXISTING TREES AND INDICATIVE PROPOSED PLANTING

11/10/23 (A1)	DATE	MARCH 2023
DP	DISCIPLINE	
868	PROJECT NO.	101

BRIMSTOWN SPORTS GROUND, ENFIELD



BRIMS DOWN
SPORTS GROUND
ENFIELD



MATERIALS
 DARK STAINED HORIZONTAL TIMBER BOARDING
 ROOF
 DARK GREY ROOF SLATE OR CELEST SPARKLES
 WALLS
 DARK STAINED VERTICAL TIMBER BOARDING
 FLOORS
 POLISHED CONCRETE
 BALUSTADING
 DARK HONEY LAMINATED HARDWOOD
 HANDRAILS
 DARK STAINED HORIZONTAL TIMBER BOARDING

NOTES
 THIS DRAWING IS PREPARED FROM A LARGER UNCHECKED DOCUMENT
 NO GUARANTEE OF ACCURACY IS GIVEN
 UNTIL A DIMENSIONAL SURVEY IS COMPLETED
 ALL EXISTING AND PROPOSED DIMENSIONS AND LEVELS MUST BE VERIFIED
 IN THE FIELD BEFORE COMMENCING WORK

PROJECT
 PROPOSED DEVELOPMENT AT
 BRIMS DOWN SPORTS GROUND
 ENFIELD

CLIENT
 ENFIELD FC

ARCHITECT
 MCLAREN ASSOCIATES
 ARCHITECTURAL AND DESIGN CONSULTANTS
 150/152
 150/152
 150/152
 150/152

DATE
 11 JAN 2012

PROJECT
 BRIMS DOWN SPORTS GROUND

DESCRIPTION
 PROPOSED DEVELOPMENT AT
 BRIMS DOWN SPORTS GROUND
 ENFIELD

SCALE
 1:1000 (A1)

DATE
 JANUARY 2012

NO.
 868

SCALE
 105

GROUND FLOOR PLAN



MATERIALS:
 WALLS: DARK STAINED HORIZONTAL TIMBER BOARDING
 FLOOR: POLISHED CONCRETE
 ROOF: DARK GREEN BITUMEN FELT ON CEDAR SHAKES
 CLADDING: DARK BROWN POWDER-COATED ALUMINIUM FINISHED TIMBER FRAMES
 GLAZING: ALUMINIUM FRAME GLAZING WITH LOW E GLASS
 FINISHES: UNPAINTED WOODWORK AND UNPAINTED METALWORK

NOTE:
 THIS DRAWING IS PREPARED FROM UNCHECKED DOCUMENTS
 NO GUARANTEE OF ACCURACY IS GIVEN
 THE CONTRACTOR SHALL VERIFY IS CORRECT
 ALL WORKING DRAWINGS SHALL BE VERIFIED
 ON-SITE BEFORE COMMENCING WORK

PROPOSED DEVELOPMENT AT
 BRIMS DOW SPORTS GROUND
 ENFIELD

15101031FUL

MCLAREN ASSOCIATES
 ARCHITECTURAL AND DESIGN CONSULTANTS
 15101031 PROJECT: BRIMS DOW SPORTS GROUND
 UPPER FLOOR PLAN

PROPOSED REPLACEMENT
 CLUBHOUSE AND FACILITIES BUILDING
 UPPER FLOOR PLAN

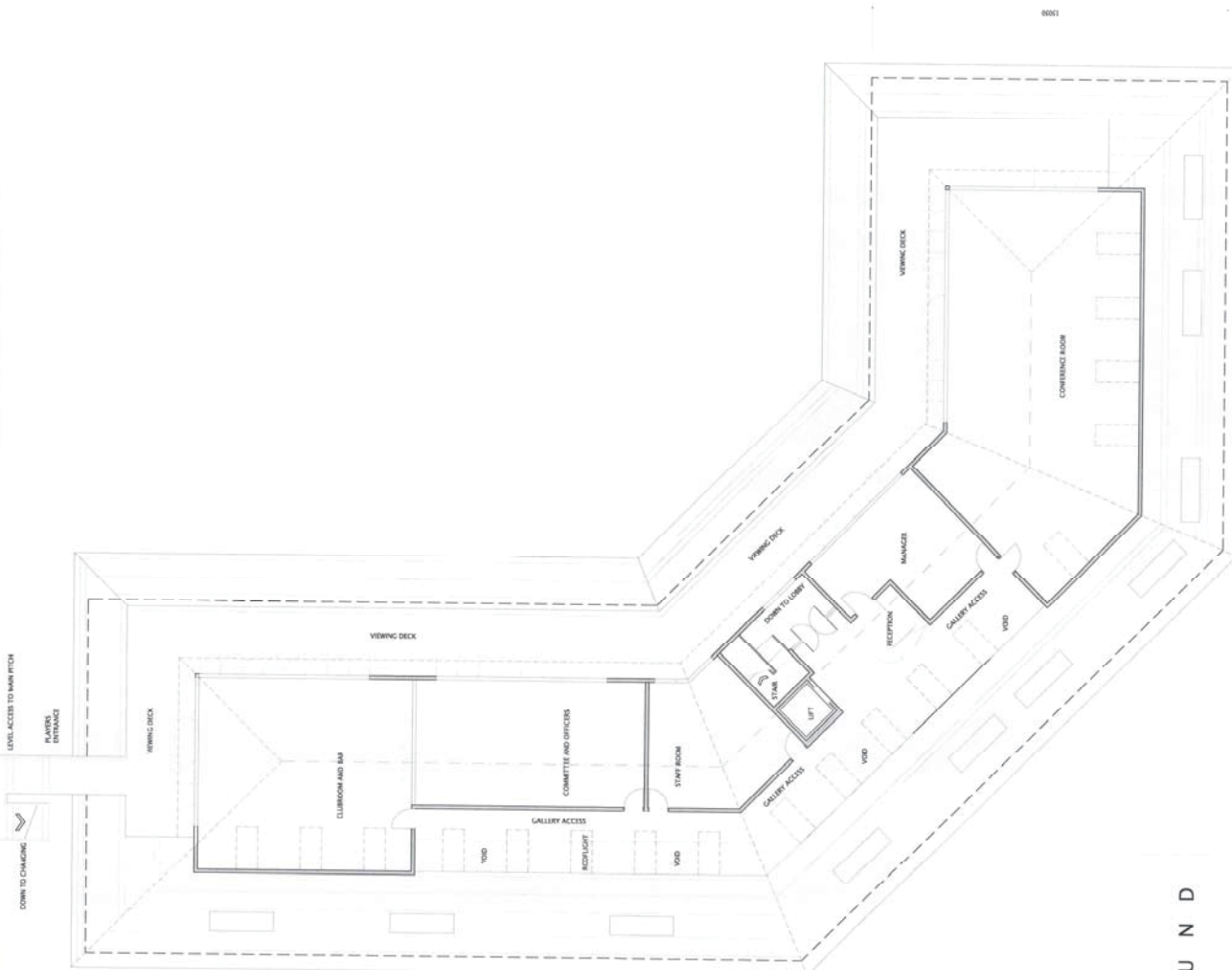
FOR PLANNING

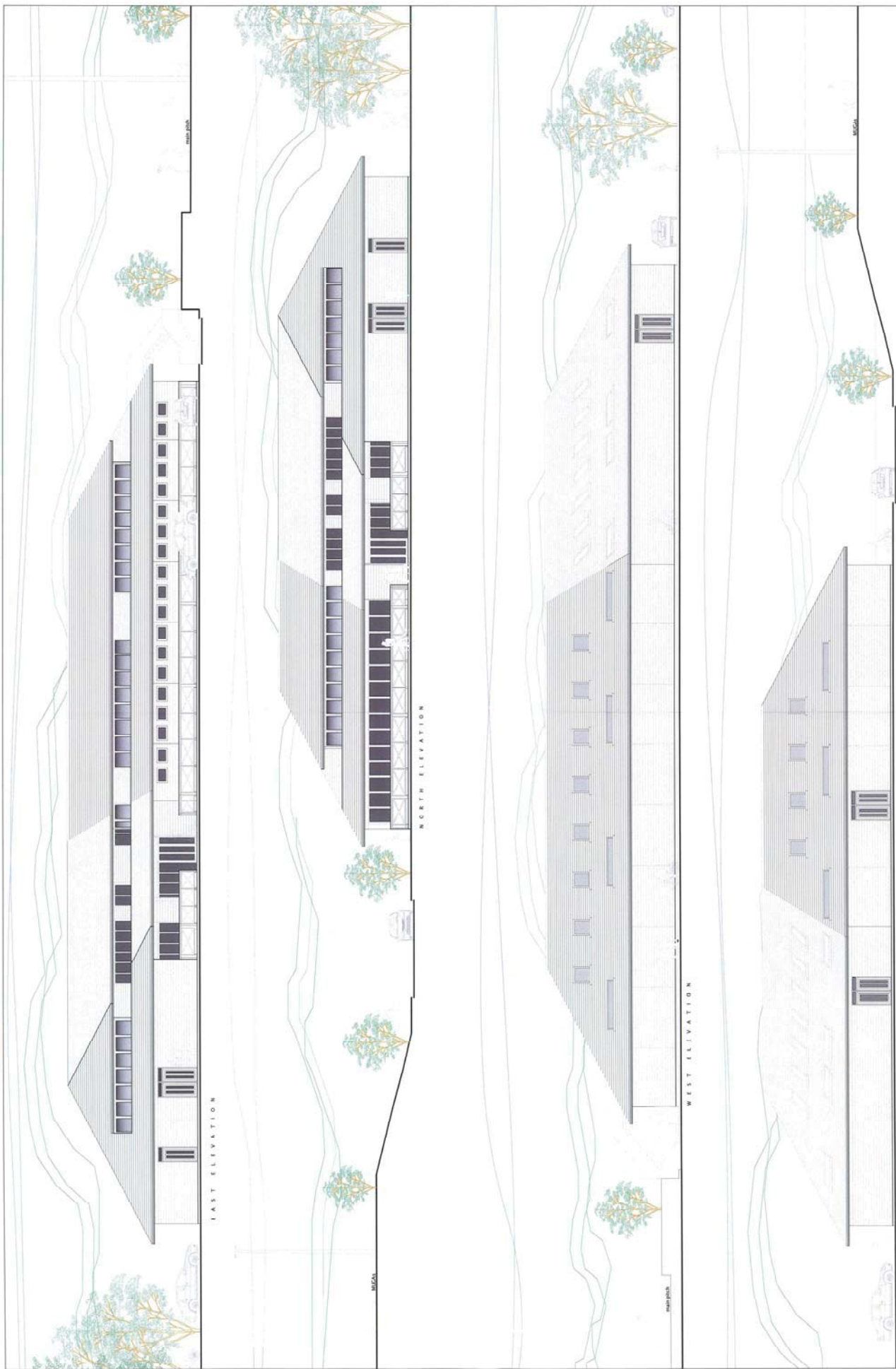
DATE: 2.13.16 JAE	DATE: JANUARY 2015
SCALE: 1:500	SCALE:
DRAWING NUMBER: 868	PROJECT NUMBER: 106

BRIMS DOW SPORTS GROUND
 - E 111 - 2016
 DEVELOPMENT - 2016/17

UPPER FLOOR PLAN

BRIMS DOW
 SPORTS GROUND
 ENFIELD





<p>MCLAREN ASSOCIATES <i>Architectural and Design Consultants</i> <small>100-10000 BIRCHWOOD DRIVE, SUITE 100, BIRCHWOOD, MD 21044</small></p>	<p>UNIVERSITY OF BRIMS DOWN SPORTS GROUND ELEVATIONS</p>		<p>868</p>	<p>108</p>	<p>JANUARY 2013</p>
	<p>BRIMS DOWN SPORTS GROUND, ENFIELD</p>				



SITE SECTIONS SCALE 1: 500

EAST - WEST SECTION

SECTION AT CLUBHOUSE SCALE 1: 100

B R I M S D O W N S P O R T S G R O U N D , E N F I E L D

PROJECT PROPOSED DEVELOPMENT AT BROMSDOWN SPORTS GROUND ENFIELD	15101063 FULL	MCLAREN ASSOCIATES <small>ARCHITECTURAL AND DESIGN CONSULTANTS</small> 020 8191 3555
DATE 2023	PROJECT NO	
SCALE 1:100 (ARCHITECTURAL)	DATE JUNE 2023	SHEET NO. 858
SCALE 1:500 (GENERAL)	DATE JUNE 2023	
SCALE 1:1000 (GENERAL)	DATE JUNE 2023	SHEET NO. 107
SCALE 1:2000 (GENERAL)	DATE JUNE 2023	

<p>SECTION A-A SHOWING FUTURE AND REPLACEMENT CLUBHOUSE SECTION A-A AND RECREATIONAL SITE AT 1:500 SCALE SECTION A-A CLUBHOUSE AT 1:500 SCALE</p>
<p>FOR PLANNING</p>
<p>SITE SECTIONS SHOWING FUTURE AND REPLACEMENT CLUBHOUSE SECTION A-A AND RECREATIONAL SITE AT 1:500 SCALE SECTION A-A CLUBHOUSE AT 1:500 SCALE</p>
<p>SECTION A-A SHOWING FUTURE AND REPLACEMENT CLUBHOUSE SECTION A-A AND RECREATIONAL SITE AT 1:500 SCALE SECTION A-A CLUBHOUSE AT 1:500 SCALE</p>

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 19th July 2016

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Andy Higham Tel: 020 8379 3848
Andy Bates Tel: 020 8379 3857
Mr R. Singleton Tel: 020 8379 3837

Ward: Highlands

Application Number : 16/01832/FUL

Category: Major Large Scale –
Dwellings

LOCATION: CHASE FARM HOSPITAL, THE RIDGEWAY, ENFIELD, EN2 6JL

PROPOSAL: Erection of Energy Centre adjacent to Kings Oak private hospital

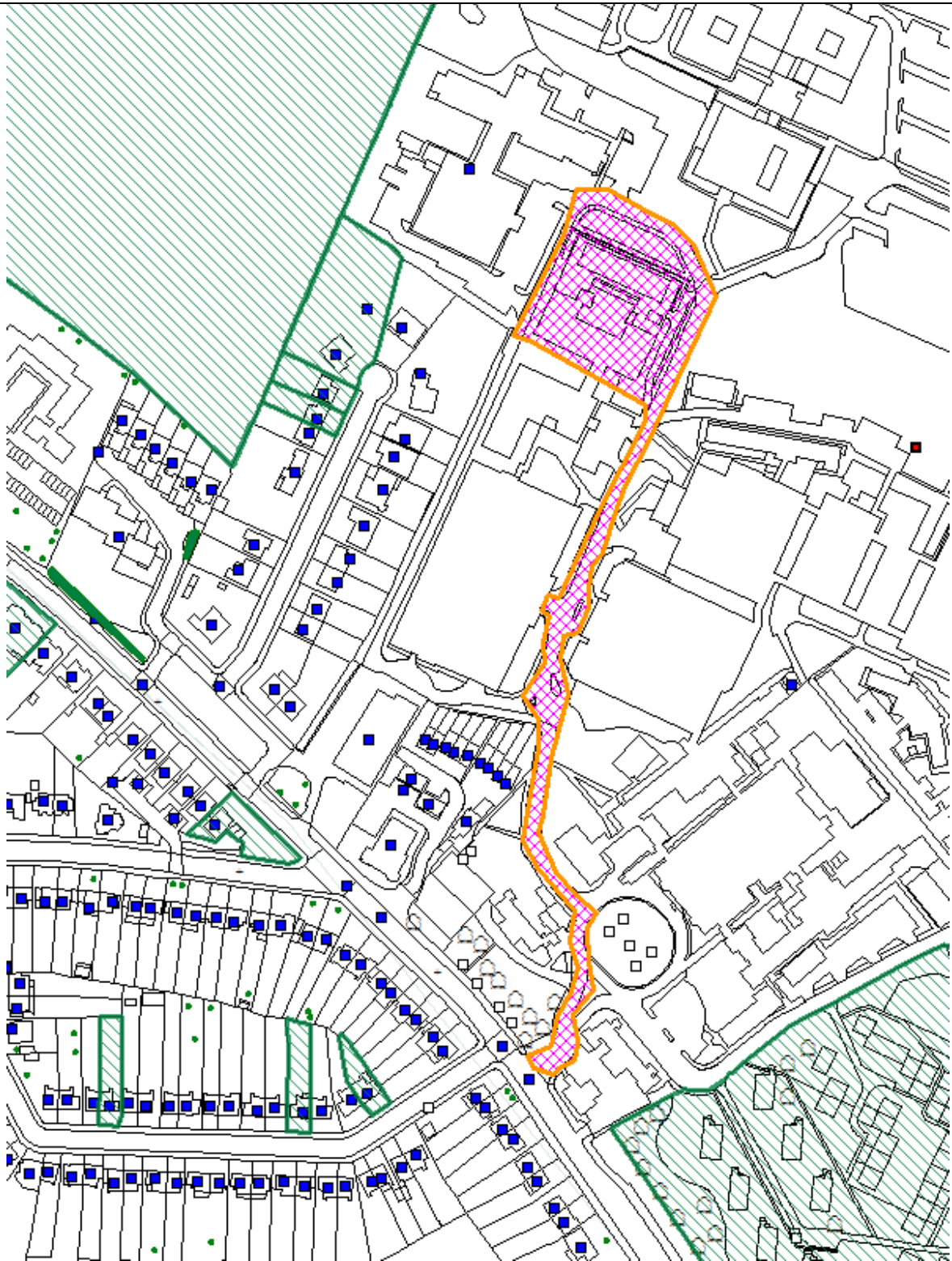
Applicant Name & Address:
Royal Free London NHS Foundation Trust
C/O Agent

Agent Name & Address:
Mr Paul Burley
Montagu Evans
Montagu Evans LLP
5 Bolton Street
W1J 8BA
United Kingdom

RECOMMENDATION:

That planning permission to be **GRANTED** in accordance with Regulation 3/4 of the Town and Country Planning General Regulations 1992 subject to conditions and a deed of variation to the existing s106 to reflect the subject consent.

Ref: 16/01832/FUL LOCATION: Chase Farm Hospital, The Ridgeway, EN2 8JL,



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Scale 1:1250

North



1. Site and Surroundings

- 1.1 The subject site comprises Chase Farm Hospital complex, a 14.9 hectare plot of land with principal health care usage with ancillary staff / residential accommodation laying to the south of the site. The main hospital is located to the north and is contained within a series of 3-4 storey healthcare blocks, ad-hoc temporary structures, single storey buildings and a multi-storey car park. In this regard, area is mixed in terms of character, a legacy of historic hospital expansion that radiates out from the original (and heavily extended) Victorian core.
- 1.2 A number of adopted routes penetrate the site with principle access to both the hospital and Mental Health Trust facilities spread between Hunters Way to the south and The Ridgeway to the east. The site is bounded by The Ridgeway to the west and Lavender Hill to the south. Both are classified roads. To the north-west and south-east, predominately residential properties line a series of cul-de-sacs namely Spring Court Road and Albuhera Close / Shooters Road respectively. The retained Mental Health Trust land and secure unit lays to the north-east of the site.
- 1.3 Over-spill car parking facilities permeate the site and the hospital provides the terminus for a series of bus routes including the W8 and 313. Gordon Hill mainline train station lies to the east of the site and a number of surrounding residential roads are subject to Controlled Parking. Overall, the site has a Public Transport Accessibility Level (PTAL) of 2.
- 1.4 The site is adjacent to designated Green Belt to the north and east of the site.
- 1.5 The site is not within a Conservation Area and does not form part of the curtilage of a Listed Building, albeit where the Victorian Clock Tower complex is considered to be a non-designated heritage asset.
- 1.6 A number of established and vintage trees pepper the site throughout and the area is known to have bat activity and established bat roosts.
- 1.7 The site is not within a flood zone, but is at risk of surface water flooding.

2. Proposal

- 2.1 The subject application seeks consent for the erection of an Energy Centre adjacent to the Kings Oak private hospital. The application is physically distinct from the wider outline consent for the redevelopment of the Chase Farm Hospital site for mixed use to provide up to 32,000sq m of replacement hospital facilities, construction of a 3-form entry primary school including temporary facilities pending completion of permanent school and construction of up to 500 residential units. That said the provision of the energy centre is intrinsically linked to this parent scheme in both the provision of a sustainable energy source for the hospital, but also wider Council aspirations to deliver a Decentralised Energy Networks (DEN's) to serve the development and wider area. In this regard, the purpose of the application is to ensure that the appointed Energy Service Company (ESCO), in this case EDF, are provided with a planning consent that reflects the detailed design and operational requirements of the proposed scheme.

- 2.2 For the information of Members the parent application ref: 14/04574/OUT, an application for a Minor Material Amendment under ref: 15/04547/FUL, and the reserved matters application for the hospital site under ref: 15/05021/RM, all accepted the principle and substantive detail of the energy centre on this site.
- 2.3 This latest application, therefore, deals more with the detail and specification of the energy centre following the appointment of the ESCo. As such the reflected changes are limited to minor changes in the external appearance of the building, the formation of a single cylindrical flue support structure and the creation of additional infill floor-space at first and second floor levels. During the application process, revised plans were submitted for consideration by the Local Planning Authority. The revised plans contained minor tweaks in the overall design of the energy centre which were determined to be so modest as to not warrant a round of re-consultation. For clarity the changes comprised:
- open sides to roof level for south (multi-storey car park) and east (expansion area/main hospital building) elevations. This is to provide greater air flow to the chillers, in order to provide much better efficiency (and therefore lower power usage/carbon emissions) for their operation. A louvered treatment would not provide sufficient air flow. A handrail is required and this is shown, and the chiller units and water tanks in outline behind. Cladding to north (private hospital) and west (residential) aspects maintains the visual and acoustic screening as appropriate;
 - various small moves to/reduction in number of louvres/doors;
 - galvanised steel, rather than stainless steel, band around the top of the flue, for maintenance reasons, given the height this is to be positioned; and
 - slightly longer horizontal run of flue at first floor level.
- 2.4 For ease of reference a comparison between the approved plans, the initial submission and those revised plans proposed under the subject application are provided below:

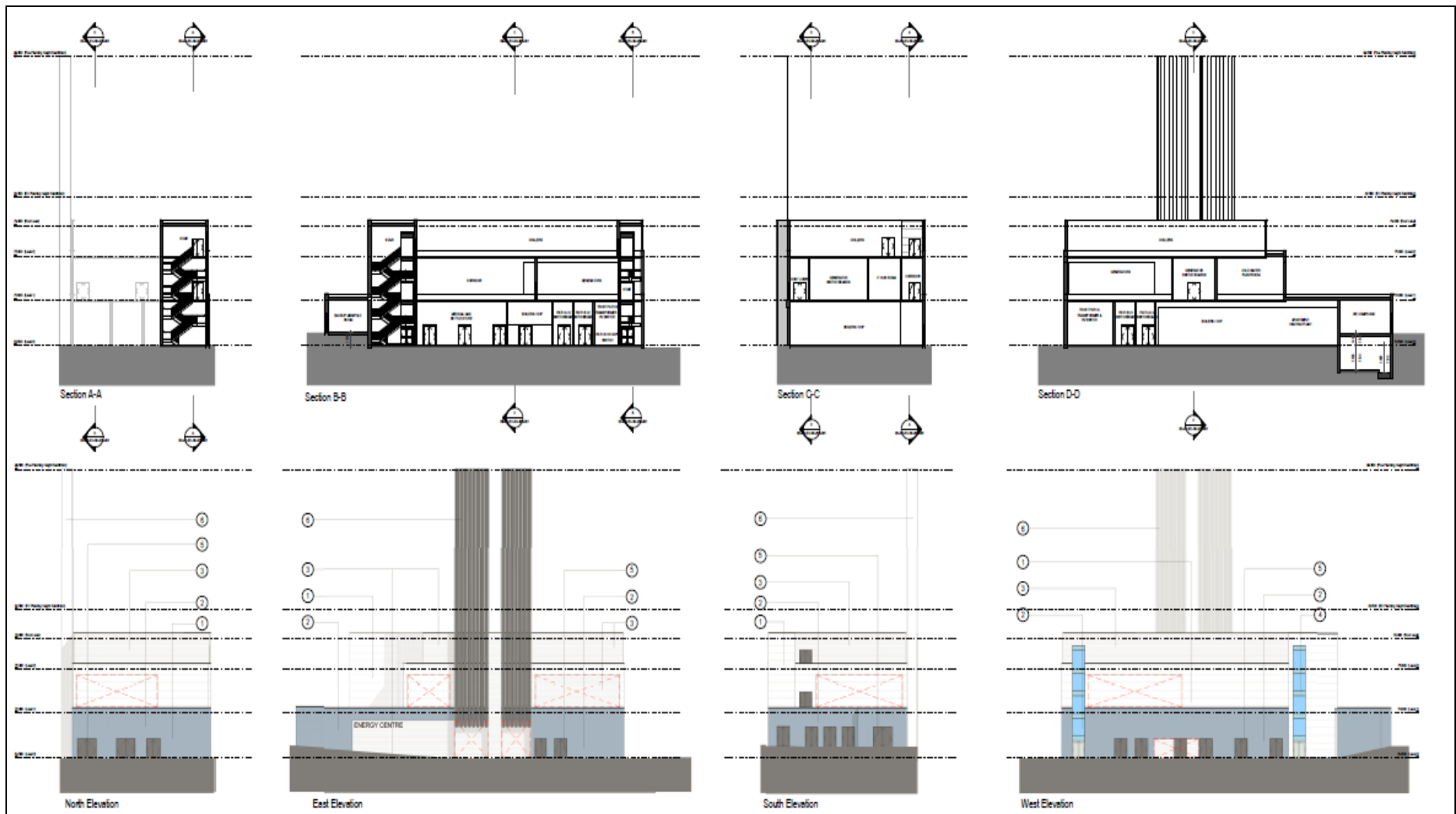


Illustration 1: Detailed Energy Centre design as approved under ref: 15/05021/RM

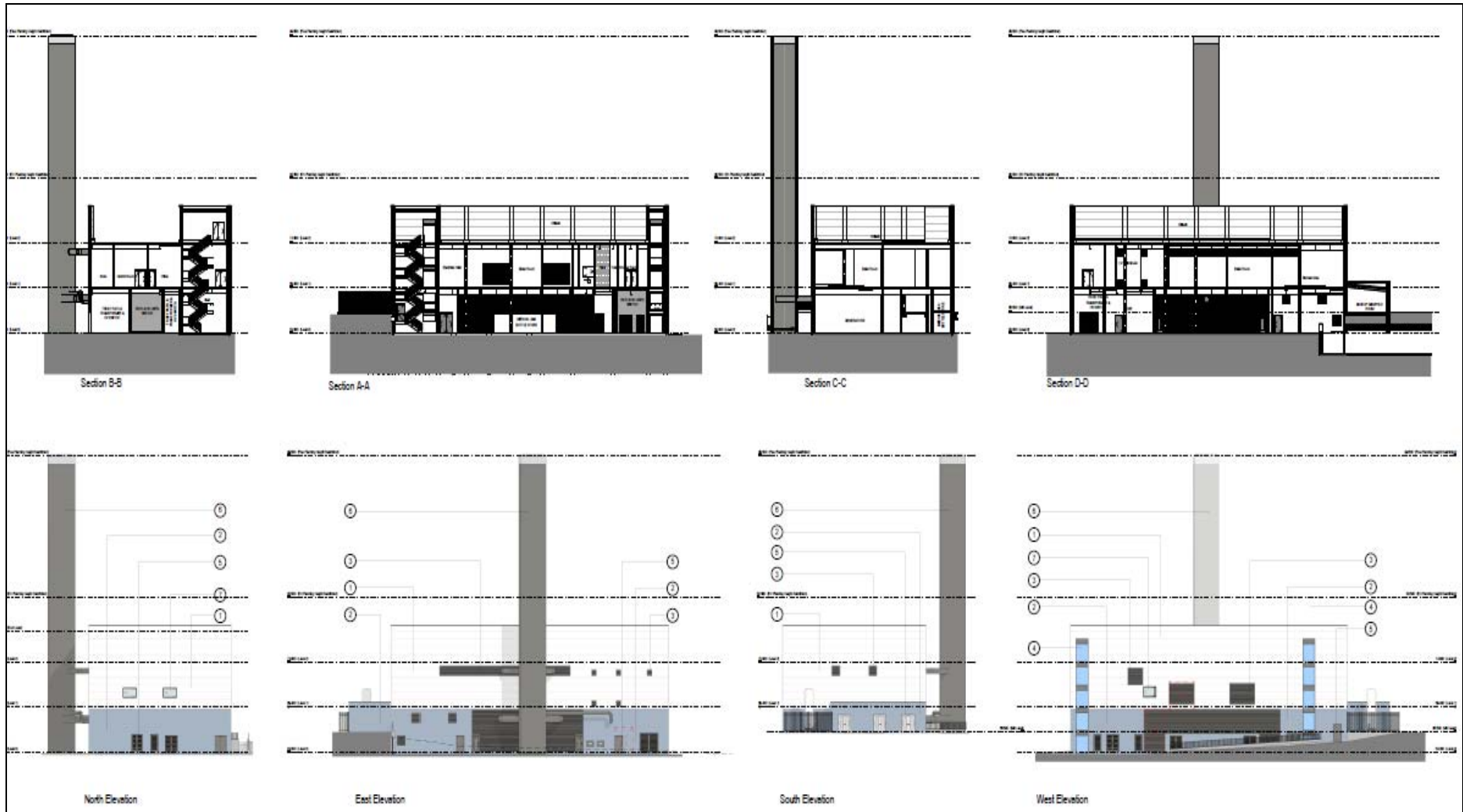


Illustration 2: Initial proposed detailed Energy Centre design



Illustration 3: Revised detailed Energy Centre design

3. Relevant Planning Decisions

- 3.1 The site has an extensive planning history. However, the most applicable in the determination of the subject application are as follows.
- 3.2 16/00426/106REV – Review of S106 Agreement under ref: 14/04574/OUT to change Trigger Point Between Housing Delivery and School Construction for redevelopment of site for mixed use to provide up to 32,000sq m of replacement hospital facilities, construction of a 3-form entry primary school including temporary facilities pending completion of permanent school and construction of up to 500 residential units, provision of additional hospital access opposite Ridge Crest and provision of egress to the school site via Shooters Road, involving demolition of hospital buildings and associated residential blocks, partial demolition of Clock Tower complex, removal of microwave clinical waste treatment plant and fuel oil burner, retention of Highlands Wing, retention and extension of existing multi- storey car park, provision of associated car parking, cycle parking, plant, hard and soft landscaping, public realm improvements and associated works. (Outline application: Access) as varied by 15/04547/FUL – Approved subject to conditions and s106 (26/04/16)
- 3.3 16/00340/NMA – Non material amendment to 14/04574/OUT (as varied by 15/04547/FUL) for variations to conditions 02, 04, 07, 09, 46, 52 & 54 to allow alteration to submission triggers to accord with the construction programme for the site – Approved (02/02/16)
- 3.4 15/05021/RM – Submission of part reserved matters approved under 14/04574/OUT as varied by 15/04547/FUL (for the replacement hospital facilities) in respect of site layout, design, external appearance and landscaping submitted pursuant to conditions 14, 15, 16 and 17 of outline approval for the redevelopment of site to provide up to 32,000 sq.m of replacement hospital facilities, involving a part 5-storey hospital building, refurbishment of Highlands Wing, retention and extension of existing multi-storey car park, erection of a 3-storey detached energy building, hard and soft landscaping and associated works. (Outline application: Access) – Approved (02/02/16)
- 3.5 15/04547/FUL – Minor material amendment to 14/04574/OUT to revise the approved plan numbers (condition 1) for the redevelopment of site for mixed use to provide up to 32,000sq m of replacement hospital facilities, construction of a 3-form entry primary school including temporary facilities pending completion of permanent school and construction of up to 500 residential units, provision of additional hospital access opposite Ridge Crest and provision of egress to the school site via Shooters Road, involving demolition of hospital buildings and associated residential blocks, partial demolition of Clock Tower complex, removal of microwave clinical waste treatment plant and fuel oil burner, retention of Highlands Wing, retention and extension of existing multi-storey car park, provision of associated car parking, cycle parking, plant, hard and soft landscaping, public realm improvements and associated works. (Outline application: Access) – Approved subject to conditions and s106 (23/12/15).
- 3.6 15/03039/FUL – Erection of temporary buildings, construction of hardstanding, associated plant and landscaping – Approved subject to conditions (26/10/15)

- 3.7 14/04574/OUT – Redevelopment of site for mixed use to provide up to 32,000sq m of replacement hospital facilities, construction of a 3-form entry primary school including temporary facilities pending completion of permanent school and construction of up to 500 residential units, provision of additional hospital access opposite Ridge Crest and provision of egress to the school site via Shooters Road, involving demolition of hospital buildings and associated residential blocks, partial demolition of Clock Tower complex, removal of microwave clinical waste treatment plant and fuel oil burner, retention of Highlands Wing, retention and extension of existing multi-storey car park, provision of associated car parking, cycle parking, plant, hard and soft landscaping, public realm improvements and associated works. (Outline application: Access) – Approved subject to conditions and s106 (28/10/15).

4. Consultations

4.1 Statutory and non-statutory consultees

Metropolitan Police:

4.1.1 The Metropolitan Police have requested that the application:

- Adopt the principles and practices of ‘Secure by Design’ and
- Complies with the Commercial Developments 2015 Guide and 3D Secured by Design Commercial guide and tool kit. Please see website – www.securedbydesign.com

London Fire & Emergency Planning:

4.1.2 No response received. Any comments will be reported as a late item.

Thames Water:

4.1.3 No response received. Any comments will be reported as a late item.

Enfield Disablement Association:

4.1.4 No response received. Any comments will be reported as a late item.

Tree Officer:

4.1.5 No additional tree impact from these proposals.

Economic Development:

4.1.6 No objection subject to relevant Employment and Skills contributions secure via s106.

Environmental Health:

4.1.7 No objection subject to conditions relating to noise and dust control.

Urban Design:

4.1.8 No response received. Any comments will be reported as a late item.

Traffic and Transportation:

4.1.9 No objection and no further comments beyond those made under ref: 14/04574/OUT.

SUDS Team:

4.1.10 No objection subject to conditions.

Regeneration:

4.1.11 No objection subject to conditions.

Sustainability Team:

4.1.12 Originally an objection to the proposal on the basis of insufficient information / specification being provided in order to give comfort that the realised design of the energy centre was capable of creating a Decentralised Energy Network (DEN) or indeed whether the specification would undermine future connections to the residential units associated with the parent application and beyond. Such comments were conveyed to the applicant and additional information was submitted. On the basis of this update information, the specification of the energy centre was sufficient to provide energy for at least 200 homes as originally specified with the added option for the installation of additional plant should there be the commercial demand to expand the network further.

4.2 Public response

4.2.1 The application was referred to 46 surrounding properties, a press notice released (as featured in the Enfield Independent on 25/05/16) and 5 site notices were posted on and around the site. The consultation period expired 13/06/16. A total of 1 written response was received from the residents at No.22 Spring Court Road objecting to the proposal on the following grounds:

- Development too high
- Increase of pollution
- Loss of privacy
- Noise nuisance
- Out of keeping with character of area
- Over development

In addition, the objector states that no mention of this element of the scheme was mentioned under the parent application or any subsequent application and hence was not aware of this element of the scheme. Having checked the records this is incorrect as the energy centre clearly featured as part of the parent application under ref: 14/04574/OUT and was stated in the proposal description. Furthermore, under ref: 15/05021/RM the detail design of the energy centre was considered and again was clearly stated in the description. For the avoidance of doubt, the occupiers at No.22 Spring Court Road were consulted directly as part of each of these applications.

5. Relevant Policy

5.3.1 The London Plan including Revised Early Minor Amendments (REMA)

Policy 5.1 – Climate change mitigation
Policy 5.2 – Minimising carbon dioxide emissions
Policy 5.3 – Sustainable design and construction
Policy 5.5 – Decentralised energy networks
Policy 5.6 – Decentralised energy in development proposals
Policy 5.7 – Renewable energy
Policy 5.9 – Overheating and cooling
Policy 5.10 – Urban greening
Policy 5.11 – Green roofs and development site environs
Policy 5.12 – Flood risk management
Policy 5.13 – Sustainable drainage
Policy 5.15 – Water use and supplies
Policy 5.18 – Construction, excavation and demolition waste
Policy 5.21 – Contaminated land
Policy 6.9 – Cycling
Policy 6.10 – Walking
Policy 6.12 – Road network capacity
Policy 6.13 – Parking
Policy 7.1 – Building London's neighbourhoods and communities
Policy 7.2 – An inclusive environment
Policy 7.3 – Designing out crime
Policy 7.4 – Local character
Policy 7.5 – Public realm
Policy 7.6 – Architecture
Policy 7.7 – Location and design of tall and large buildings
Policy 7.8 – Heritage assets and archaeology
Policy 7.9 – Heritage-led regeneration
Policy 7.14 – Improving air quality
Policy 7.15 – Reducing noise and enhancing soundscapes
Policy 7.16 – Green Belt
Policy 7.18 – Protecting local open space and addressing local deficiency
Policy 7.19 – Biodiversity and access to nature
Policy 7.21 – Trees and woodlands

Housing Supplementary Planning Guidance

5.3.2 Local Plan – Core Strategy

Strategic Objective 2: Environmental sustainability
Strategic Objective 8: Transportation and accessibility
Strategic Objective 9: Natural environment
Strategic Objective 10: Built environment
Core Policy 20: Sustainable Energy use and energy infrastructure
Core Policy 21: Delivering sustainable water supply, drainage and sewerage infrastructure
Core Policy 24: The road network
Core Policy 25: Pedestrians and cyclists
Core Policy 26: Public transport
Core Policy 28: Managing flood risk through development
Core Policy 29: Flood management infrastructure

Core Policy 30: Maintaining and improving the quality of the built and open environment

Core Policy 31: Built and landscape heritage

Core Policy 32: Pollution

Core Policy 33: Green Belt and countryside

Core Policy 34: Parks, playing fields and other open spaces

Core Policy 36: Biodiversity

Biodiversity Action Plan

S106 SPD

5.3.3 Development Management Document

DMD37: Achieving high quality and design-led development

DMD38: Design process

DMD42: Design of civic / public buildings and institutions

DMD43: Tall buildings

DMD44: Conserving and enhancing heritage assets

DMD45: Parking standards and layout

DMD47: New road, access and servicing

DMD48: Transport assessments

DMD49: Sustainable design and construction statements

DMD50: Environmental assessments method

DMD51: Energy efficiency standards

DMD52: Decentralised energy networks

DMD53: Low and zero carbon technology

DMD55: Use of roofspace / vertical surfaces

DMD57: Responsible sourcing of materials, waste minimisation and green procurement

DMD58: Water efficiency

DMD59: Avoiding and reducing flood risk

DMD60: Assessing flood risk

DMD61: Managing surface water

DMD62: Flood control and mitigation measures

DMD63: Protection and improvement of watercourses and flood defences

DMD64: Pollution control and assessment

DMD65: Air quality

DMD66: Land contamination and instability

DMD67: Hazardous installations

DMD68: Noise

DMD69: Light pollution

DMD70: Water quality

DMD78: Nature conservation

DMD79: Ecological enhancements

DMD80: Trees on development sites

DMD81: Landscaping

DMD82: Protecting the Green Belt

DMD83: Development adjacent to the Green Belt

5.4 National Planning Policy Framework

- 5.4.1 The National Planning Policy Framework (NPPF) introduces a presumption in favour of sustainable development. In this respect, sustainable development is identified as having three dimensions – an economic role, a social role and

an environmental role. For decision taking, this presumption in favour of sustainable development means:

- approving development proposals that accord with the development plan without delay; and
- Where the development plan is absent, silent or relevant policies are out of date, granting permission unless:

Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or

Specific policies in the Framework indicate development should be restricted.

5.4.2 The NPPF recognises that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The NPPF does not change the statutory status of the development plan as the starting point for decision making.

5.4.3 In addition, paragraph 173 of the NPPF states that in the pursuit of sustainable development careful attention must be given to viability and costs in plan-making and decision-taking. Plans should be deliverable. Therefore, the sites and the scale of development identified in the plan should not be subject to such a scale of obligations and policy burdens that their ability to be developed viably is threatened. To ensure viability, the costs of any requirements likely to be applied to development, such as requirements for affordable housing, standards, infrastructure contributions or other requirements should, when taking account of the normal cost of development and mitigation, provide competitive returns to a willing land owner and willing developer to enable the development to be deliverable.

5.5 National Planning Practice Guidance

5.5.1 On 6th March 2014, the Department for Communities and Local Government (DCLG) launched the National Planning Practice Guidance (NPPG) to consolidate and simplify previous suite of planning practice guidance. Of particular note for members, the guidance builds on paragraph 173 of the NPPF stating that where an assessment of viability of an individual scheme in the decision-making process is required, decisions must be underpinned by an understanding of viability, ensuring realistic decisions are made to support development and promote economic growth. Where the viability of a development is in question, local planning authorities should look to be flexible in applying policy requirements wherever possible.

5.5 Other Material Considerations

London Plan Sustainable Design and Construction SPG
Mayor's Climate Change Adaption Strategy
Mayor's Climate Change Mitigation and Energy Strategy
Mayors Water Strategy
Mayor's Ambient Noise Strategy
Mayor's Air Quality Strategy
Mayor's Transport Strategy

Land for Transport Functions SPG
 London Plan; Mayoral Community Infrastructure Levy
 Circular 06/05 Biodiversity and Geological Conservation – Statutory
 Obligations and Their Impact within the Planning System

6. Analysis

- 6.1 The principle for the redevelopment of the site to provide a new hospital of up to 32,000 sq.m of floor area, up to 500 residential units and the provision of an interim and permanent primary school for three forms of entry (630 sq.m and 3,600 sq.m respectively) with associated energy centre has been established under ref: 14/04574/OUT.

Further alterations to the parameter plans and the subsequent detailed design of the energy centre have been approved under refs: 15/04547/FUL and 15/05021/RM. In this regard, the salient points for consideration here must be limited to the material changes presented as part of the current application, namely the minor changes in the external appearance of the building, the formation of a single cylindrical flue support structure and the creation of additional infill floorspace at first and second floor levels. In this regard, the main issues to consider are as follows:

- i. Alignment with Energy Strategy and secured Decentralised Energy Network;
- ii. Development adjacent to the Green Belt;
- iii. Design;
- iv. Amenity of neighbouring properties;
- v. Highway safety;
- vi. Sustainability, noise and air quality;
- vii. S.106 Obligations; and
- viii. Community Infrastructure Levy

6.2 Alignment with Energy Strategy and secured Decentralised Energy Network

- 6.2.1 In accordance with paragraph 97 of the NPPF, London Plan Policies 5.2, 5.5 and 5.6 as embedded on Policies DMD51 and DMD52 of the Development Management Document, the Local Plan seeks to ensure that all developments make the fullest contribution to the mitigation of climate change and seek pro-actively to reduce the emissions of carbon dioxide, primarily by reducing emissions from new development, but also through supporting the development of low carbon energy infrastructure.
- 6.2.2 These Policies extol the principles of the energy hierarchy (“be lean, be clean, be green”) and requires strict adherence to a sequential test that seeks to maximise energy efficiency in development from the ground up, ensuring that the structure of the energy policies serve to incentivise considered innovative design as the core value in delivering exemplar sustainable development in accordance with the Spatial Vision for Enfield and Strategic Objective 2 of the Core Strategy. Indeed, reflecting the overarching strategic vision for the borough, the Policy goes further than the London Plan and instils a flexibility in the decision making process to seek further efficiencies and deliver exemplar developments within the Borough. Through the use of a hierarchy, this suite of Policies acknowledge the limitations of achieving ever more challenging carbon reduction targets and seeks to offer a tiered approach to carbon reduction where a range of technical solutions can be offered to

reduce emissions so far as is practicable and economically viable. As part of this advocacy for carbon reductions across all development is borne a need to offer decentralised options for energy generation, reducing reliance on the grid, providing energy security and indeed providing technical solutions to energy generation that are far more efficient than traditional methods of providing heat and electricity.

6.2.3 In particular, DMD52 of the Development Management Document states that *'[p]roposals for the development of decentralised energy network infrastructure and related apparatus in the borough will be supported. The Council will support, and in some cases facilitate, the provision of infrastructure to support new and expanding networks including safeguarding routes and land for such use where necessary. Proposals for major developments which produce heat and/or energy should contribute to the supply of decentralised energy networks unless it can be demonstrated that this is not technically feasible or economically viable.'*

6.2.4 Under the parent application ref: 14/04574/OUT (and subsequent amended schemes) it was clear that the strategic importance of the site and quantum of development was such that a decentralised energy network to service the range of units proposed was a viable prospect, albeit where the exact technical specification and associated energy demands for such a network were not known. In this regard, both the principle of creating a decentralised energy network and indeed the formation of a stand-alone energy centre was established albeit where this was acknowledged as a scaled back version of a possible heat network where lower density properties would not have sufficient heat demand to warrant connection. Indeed, mindful of the status and phased nature of this outline parent application, the provision of a future energy network to the site was secured via s106 agreement between the two parties with a mutually reinforcing condition 46 providing a framework by which such a network would be delivered and – given the scaled back proposal tabled – to install such provisions as to allow further feasibility testing for a much larger network should this be deemed as viable.

6.2.5 Under the s106 the applicant covenants with the Council as follows:

DEN (Decentralised Energy Network)

1. *Not to Commence Development until it has submitted the 'DEN Strategy' to the Council for its approval in writing*
2. *To construct the DEN including energy centre, relevant infrastructure, connection points, and safeguard the Safeguarded Routes in accordance with the phasing details shown within the approved DEN Strategy, unless otherwise agreed in writing by the Council.*
3. *To notify the Council in writing that the DEN and the Safeguarded Routes have been constructed and safeguarded respectively for each relevant phase of the Development in accordance with the approved DEN Strategy.*
4. *To submit with each Reserved Matters Application for each relevant phase of the Development a DEN Feasibility Study to the Council for its approval in writing. Should the DEN Feasibility Study conclude that*

further DEN expansion opportunities be deemed to be practically and financially feasible the DEN Strategy shall be updated and the units which are identified within the DEN Feasibility Study as being capable of being connected to the DEN shall be included within the definition of an Identified Receptor and as such connections shall be made to the identified units.

5. *To commence the operation of the DEN prior to the first Occupation of any of the DEN Identified Receptors and notify the Council of the same in writing.*
6. *5 years from the date of completion of the Development to submit a further DEN Feasibility Study to the Council for its approval in writing. Should the DEN Feasibility Study conclude that further expansion opportunities be deemed to be feasible the DEN Strategy shall be updated and the units which are identified within the DEN Feasibility Study as being capable of being connected to the DEN shall be included within the definition of an Identified Receptor and as such connections shall be made to the identified units within an agreed timeframe.*
7. *To notify the Council in writing within 30 days of the disposal of the DEN to any third party including contact details of the new owner of the DEN and confirmation that they have been notified of and agree to be bound by the obligations contained in this Schedule.*

6.2.6 Further, condition 46 states:

Details of the Combined Heat and Power facility and infrastructure must be submitted and approved in writing by the Local Planning Authority prior to the commencement of any of the hospital phases of development identified pursuant to Condition 2. The details shall include:

- a. *energy centre details siting, sizing and plant*
- b. *the potential for phased expansion of the energy centre necessary to accommodate phased expansion of the DEN*
- c. *location of DEN connection points between the hospital and residential parcels*
- d. *location of safeguarded routes to serve DEN Identified Receptors*
- e. *location, specification, flue arrangement, operation/management strategy;*
- f. *the method of how the facility and infrastructure shall be designed to allow for the future connection to any neighbouring heating and cooling network;*
- g. *method and associated infrastructure required to facilitate future expansion of the site wide heat network to identified heat loads in the surrounding area namely the residential and school sites;*
- h. *noise / acoustic report*
- i. *that the CHP unit will be installed with a catalyst in accordance with the specification outline within the Air Quality Assessment*

The facility and infrastructure shall be operational/installed following practical completion of the hospital development hereby approved pursuant to Condition 2.

The Combined Heat and Power facility and infrastructure shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the Combined Heat and Power facility and infrastructure is provided appropriately and so that it is designed in a manner which allows for the future connection to a district system in accordance with Policy CP20 of the Core Strategy, DMD52, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan and the NPPF.

6.2.7 Under ref: 15/05673/CND an application to discharge condition 46 has been submitted. The application has not yet been determined due to uncertainty over the realised specification of the plant which has subsequently been clarified as part of this submission. In consultation with the Council's Sustainability Team, initial concerns were raised in relation to the ability of the installation to provide sufficient heat and electrical energy to support the creation of a Decentralised Energy Network, the underpinning principle of the sustainability strategy for the site and consistent with Council aspirations of low carbon energy generation. Such concerns were relayed to the applicant and additional information was submitted accordingly. The clarification document confirmed that the energy centre, plant and network is capable of supplying the hospital and at least 200 homes with heat and power as the redevelopment of the site progresses without the need for additional plant or building work and – in taking account of operating temperatures – would ensure that such connection would be commercially viable. A revised plan to demonstrate pipe routes for future expansion has also been submitted and this too is considered to be satisfactory.

6.2.8 Consistent with the resolution of members under previous iterations of the scheme, the provision of a future energy network to the site will be secured via s106 agreement, effectively transposing the requirements of Schedule 9 into a new document. On this basis, it is considered that the provision of the energy centre clearly aligns with the Energy Strategy submitted under the parent application ref: 14/04574/OUT (and subsequent iterations) and provides a viable platform by which to secure a decentralised energy network to the site and wider surround consistent with the Council's strategic aspirations for the Chase Farm redevelopment.

6.3 Development Adjacent to the Green Belt

6.3.1 Policy DMD83 of the Development Management Document also seeks to govern development adjacent to the Green Belt, or development deemed to impact upon its setting. In this regard, proposed development located next to or within close proximity to the Green Belt will only be permitted if all of the following criteria are met:

- a. There is no increase in the visual dominance and intrusiveness of the built form by way of height, scale and massing on the Green Belt;
- b. There is a clear distinction between the Green Belt and urban area;
- c. Views and vistas from the Green Belt into urban areas and vice versa, especially at important access points, are maintained.

6.3.2 In addition, proposals should maximise opportunities to incorporate measures to improve the character of land adjacent to the Green Belt through

environmental improvements such as planting and earth moulding, and the removal or replacement of visually intrusive elements such as buildings, structures, hard standings, walls, fences or advertisements.

- 6.3.3 Development must not restrict future public access/ rights of way from being provided. Where possible proposed development should increase opportunities for public access.
- 6.3.4 As part of the original submission, a Visual Impact Assessment (VIA) to accompany the scheme. Four wireline viewpoints were agreed to form the basis of the analysis as these areas were deemed to offer the most conspicuous views of the site from the surrounding Green Belt (see illustration below). On the basis of this information, members resolved that the impact of the development to the Green Belt was acceptable. Under ref: 15/04547/FUL, an updated VIA was submitted to assess the impact of the changes to the parameters plan to – amongst other things – reflect, but not exceed, the height of the former maternity block to install a degree of flexibility in the size and specification of the energy centre which would potentially increase the visual bulk of the development from certain vantage points.

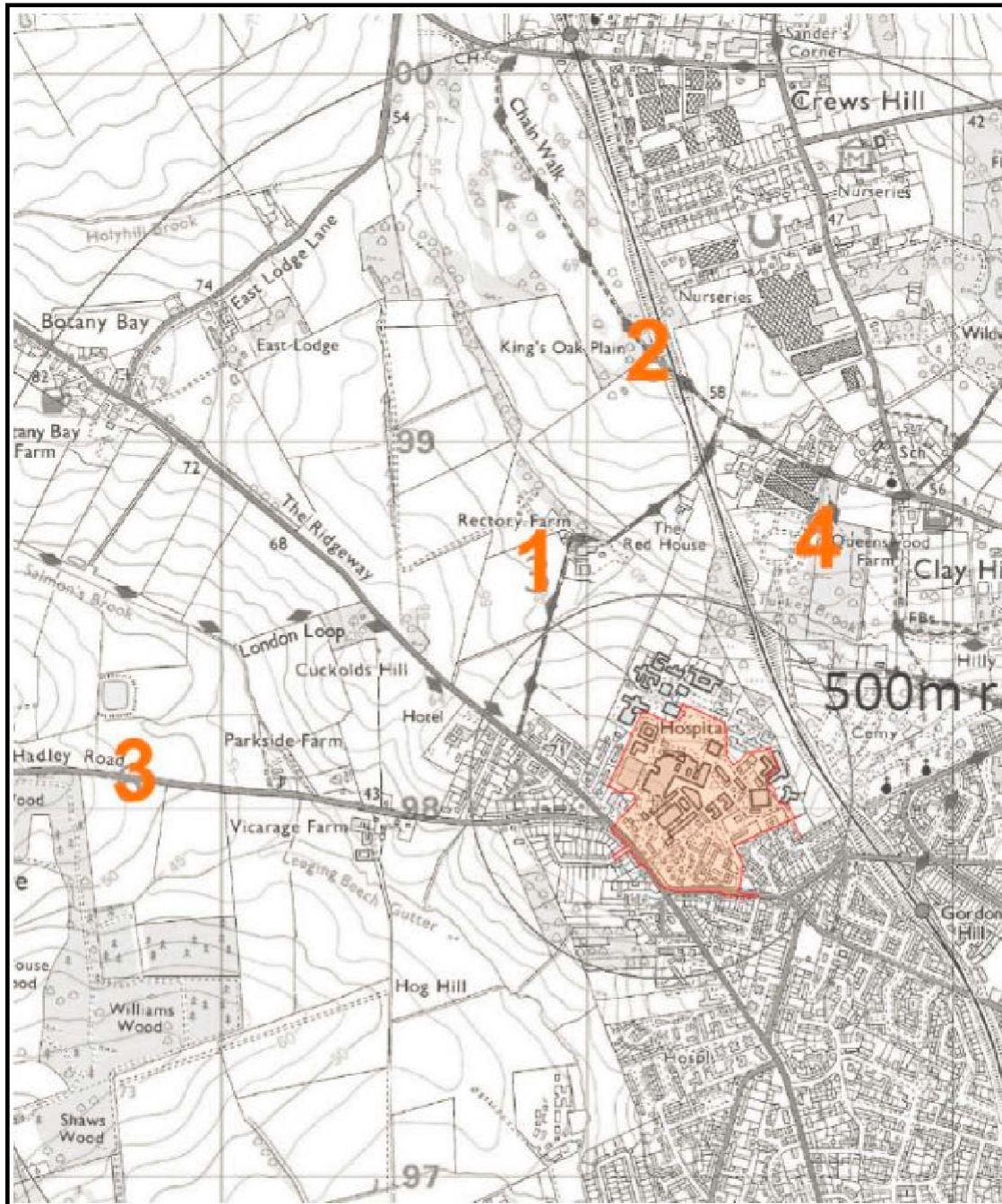


Illustration 3: VIA vantage points

- 6.3.5 The updated analysis when compared to the previously approved scheme concludes that the impact of the development from a number of the vantage point would largely be screened by vegetation or seen within the context of an established urban edge. Again, views from the Strayfield Road Cemetery to the north east of the site (due to the surrounding topography) was by far the most conspicuous location for views to the hospital site, however, views toward the site that were capable of exposing the hospital site were limited to the north east corner of the cemetery as it stretches out towards Clay Hill. Even from this vantage point, views across the site were fleeting as existing vegetation and the Gordon Hill railway bridge would quickly obstruct views as individuals travelled down the steep gradient.

6.3.6 In this regard, Policy DMD43 of the Development Management Document seeks to manage the design and siting of tall buildings. By virtue of the Policy tall and large buildings are define as those that are substantially taller than their surroundings, cause a significant change to the skyline or are larger than the threshold sizes set for the referral of planning applications to the Mayor. In relation to developments within or adjacent to Green Belt sites, tall buildings are considered to be inappropriate.

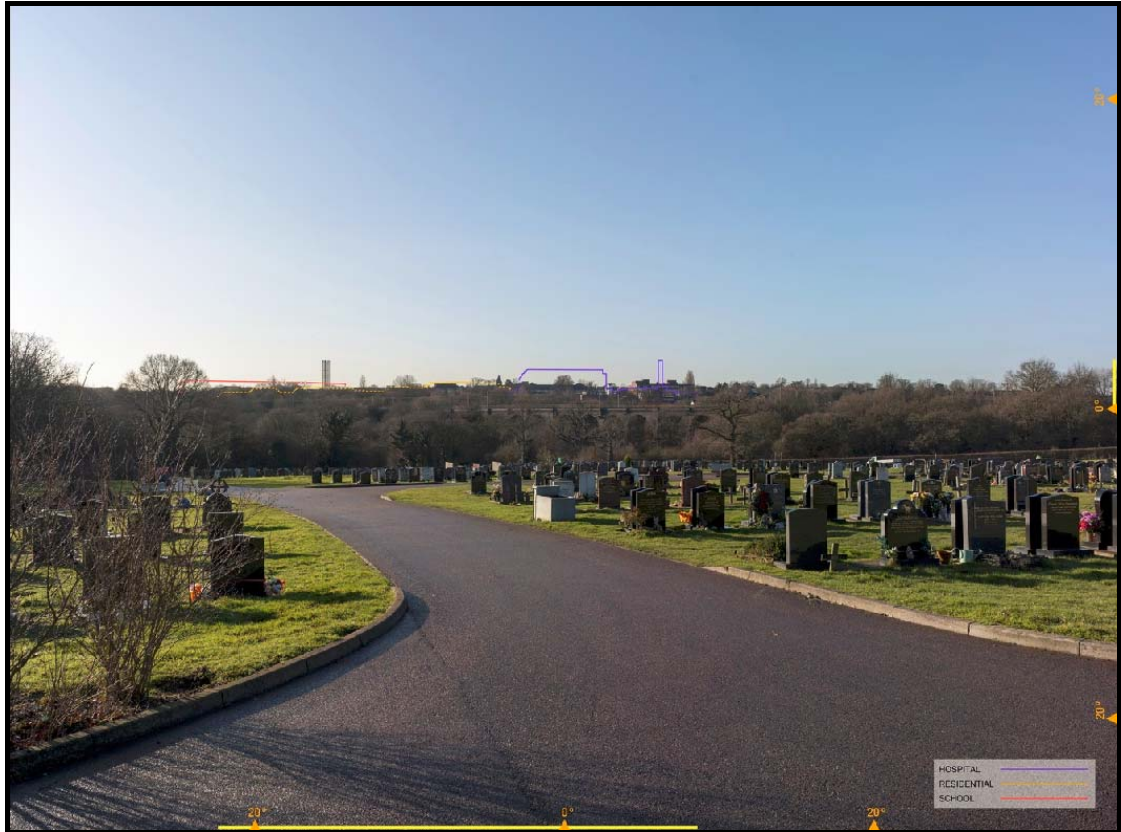


Photo 1: View point 4 14/04574/OUT

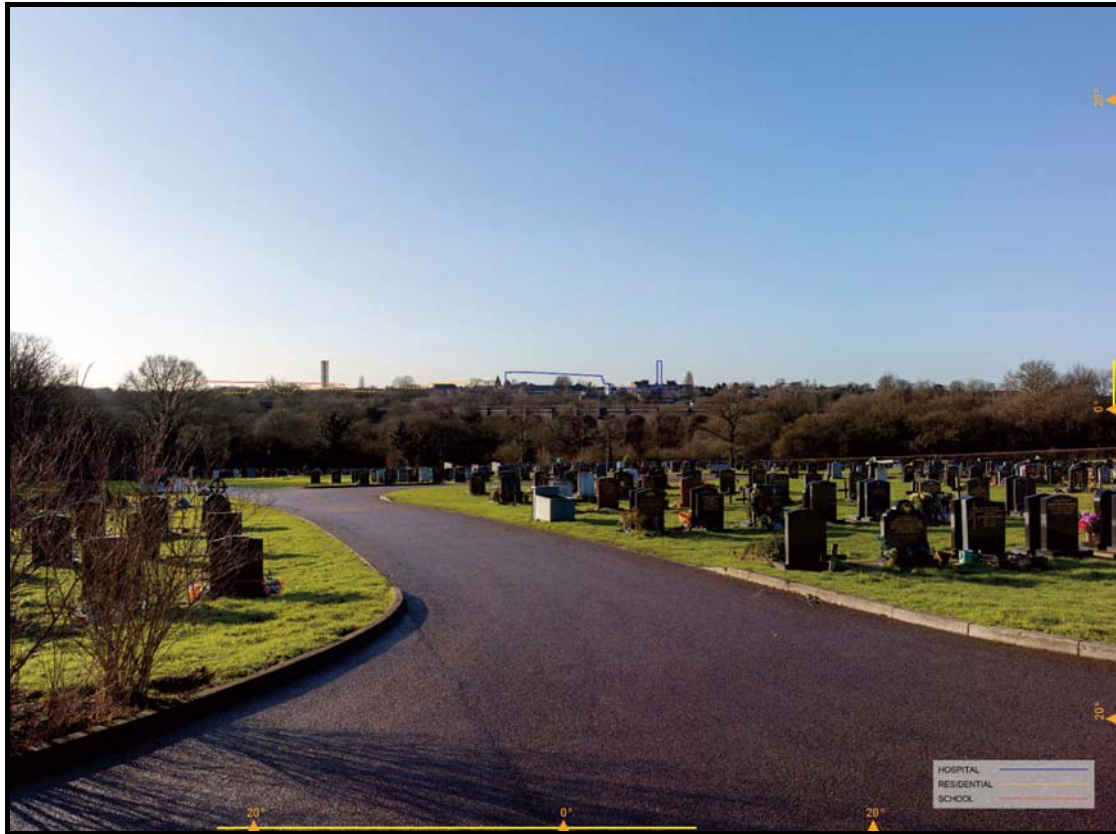


Photo 2: View point 4 15/04547/FUL

- 6.3.7 Under ref: 15/04547/FUL, while it was acknowledged that the overall bulk and massing of the site would be increased as a result of the development, and indeed that the reconfigured hospital site would serve to increase the bulk of the development across the horizontal axis, vertically the overall height of the development would appear reduced. Consistent with the deliberations of the approved scheme, members considered that the VIA was correct in its assertion that from each of the vantage points (and in particular the one to the cemetery), the presence of the existing hospital is already visible and would serve to define an accepted urban edge. The tabled changes to the scheme when taken in context are relatively minor in nature and with a reduction in the discernible height of the development overall would achieve a consistent and acceptable balance with the previously consented scheme. The imposition of development to the site, therefore, would remain within such a context and the site would still be read in the same manner, particularly where the overall height of the buildings remain within examples existing site parameters albeit where the overall quantum of development is increased.
- 6.3.8 While the subject application has stopped short of issuing a revised VIA, the minor nature of the changes tabled, namely the first a second floor infill additions, which due to their nature and relative orientation would be contained within the envelope of the building, and the formation of a cylindrical flue structure would do very little to the degree of development discernible from the more sensitive vantage point from the cemetery. Indeed, mindful of previous deliberations it is considered that the alterations tabled responds positively to the constraints of the site and its relationship to the surrounding Green Belt responding positively to the utilitarian requirements of an efficient energy centre.

6.4 Design

Layout, mass, bulk and height

6.4.1 Consistent with the core principles of the London Plan, the Core Strategy and Development Management Document well considered, high quality, designed development is central to achieving a balanced and sustainable development. Developments should be of the highest quality. Internally, externally and in relation to the wider environment they should provide an attractive and functional public realm, clear legible for users, but one that adapts to changing needs and fosters a sense of community. New development is required to have regard to its context, and make a positive contribution to local character.

6.3.3 Under ref: 15/05021/RM Members resolved to grant consent for the discharge of detailed design of the energy centre pursuant to the Reserved Matters of the parent consent (as amended). The subject scheme differs little from this consent, again replicating elements of the materials palette to ensure that the development can be read as a whole, whilst recognising the limitation in the design of a utilitarian building which by location would be sited to the less sensitive northern extremity of the site. Consistent with deliberations under this consent, it is considered that the overall design of the subject scheme is appropriate to the locality and further that the consolidation of the individual flue arrangement previous tabled to a single cylindrical structure, is a more successful design solution that would serve to reduce the perceived scale of the exhaust serving the energy centre and consequently make it less imposing to the more sensitive residential uses to the northern boundary.

6.5 Impact of Neighbouring Properties

6.5.1 Policy DMD39 of the Development Management Document seeks to ensure that all new non-residential development is appropriately located, taking account of the surrounding area and land uses with a mandate to preserve amenity in terms of daylight, sunlight, outlook, privacy, noise and disturbance to more sensitive uses in the surrounding area. In addition, DMD10 imposes minimum distancing standards to maintain a sense of privacy, avoid overshadowing and to ensure that adequate amounts of sunlight are available for new and existing developments.

6.5.2 The nature of the application and tabled changes to the already approved energy centre are such that the overall scale bulk, massing and location of the development have all been accepted in principle. Whilst it is acknowledged that the residents of No.22 Spring Court Road have objected to the scheme on the basis of the impact of the built form to residents lining the site to the north, the infill first and second floor extensions are accommodated within the approved building area and indeed would remain well within the parameter plans approved under the parent application. The assessment of impact, therefore, has already been considered and the subject application is considered to be of no greater harm than previously examined.

6.6 Highway Safety

Proposal

- 6.6.1 As part of the submission, it is clear that the road network, parking provision and decant strategy for the redevelopment of the site remain unchanged from the previously approved scheme.
- 6.6.2 In consultation with the Council's Traffic and Transportation team, no objections have been raised to the scheme on the basis that the tabled changes are so minor as to not materially impact upon transport implication for the scheme. All relevant considerations remain consistent with the previously approved scheme and all relevant measures secured by way of condition to ensure compliance with the overarching transport strategy, construction management plan and the delivery and servicing plan secure via s106 under the previous application.

6.7 Sustainable Design and Construction

- 6.7.1 The sustainable design and construction credentials of the scheme remain unaltered as a result of the submitted changes and therefore remain consistent with the requirements of the Local Plan. All relevant measures secured by way of condition or s106 will be reiterated if members resolve to grant consent.

Trees

- 6.7.2 A site wide Tree Preservation Order has been placed on the site. Consistent with comments under the parent application the Tree Officer has indicated that he has no objection in principle to the scheme, commenting that there are a number of significant and good quality trees on the site that positively contribute individually or as groups to the amenity and character of the site (including the proposed school site).
- 6.7.3 The overwhelming majority of these trees have been sensibly retained where they will continue to contribute to the proposed development. The revised energy centre would not result in any additional loss of trees over what has already been agreed and hence this is considered to be acceptable subject to relevant tree protection conditions.

Air Quality, Contamination and Noise

- 6.7.4 An Air Quality Report and Noise Impact Assessment have been submitted with scheme. While the concerns raised by the objector relating to noise and air pollution are noted, in consultation with the Council's Environmental Health Team, Officers have concluded that the development is unlikely to have a negative environmental impact, with no concerns relating to contaminated land. In terms of air quality no new exceedances of long or short term air quality objectives are predicted at any location and as a result, no significant adverse health effects are anticipated.
- 6.7.5 The acoustic report which accompanies the application presents the impacts of the energy centre on local residents. Environmental Health confirm that the method used is acceptable, however, the acoustic performance criteria are not, with the report suggesting an acceptable limit for noise emissions from the energy centre would be equal to the measured existing background noise level. This is not acceptable and the Council would expect that noise from the energy centre to be 5dB below the background level at the façade of the nearest sensitive receptors, particularly given the objections from

residents. However, this can be conditioned to ensure relevant standards are met and would not in itself warrant a refusal of the scheme.

6.8 *S106 Contributions*

6.8.1 A Section 106 agreement will be required to secure relevant DEN provisions and Employment and Skills contributions. At the time of writing, negotiations were ongoing in relation to the nature and scope of the Employment and Skills Strategy and Officers request that they be granted delegated authority to continue such negotiations following the resolution of Members.

6.9 *Community Infrastructure Levy*

6.9.1 As of the April 2010, legislation in the form of CIL Regulations 2010 (as amended) came into force which would allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm.

6.9.2 Enfield has adopted its own CIL. Industrial and commercial units are exempt from this charge.

7. **Conclusion**

7.1 Chase Farm is a strategically important site for the Borough and its surround. The proposed energy centre has been accepted in principle under previous iterations of the wider redevelopment scheme and discharge of relevant reserved matters. Following the submission of additional information, the realised energy centre and associated plant is sufficiently sized to ensure energy off-take suitable to support the formation of a decentralised energy network consistent with the Council's strategic sustainable design and construction aspirations for the site and the wider area and in this regard the development is considered to be acceptable subject to relevant conditions and s106 agreement.

8. **Recommendation**

8.1 **That planning permission be granted in accordance with Regulation 3/4 of the Town and Country Planning General Regulations 1992 subject to conditions land s106.**

8.2 **That officers be granted delegated authority to finalise the precise wording of the conditions to cover the issues identified within the report and summarised below.**

8.3 **Conditions in summary**

1. Approved Plans
2. Time limitation
3. Construction Management Plan

Development (including demolition but excluding erection of the temporary primary school) shall not commence until a construction management and

logistics plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall contain:

- a. a photographic condition survey of the roads, footways and verges leading to the site accesses;
- b. details of construction access and associated traffic management to the site across all phases;
- c. details for the relevant phase booking systems;
- d. details for relevant phase consolidated and re-timed trips;
- e. arrangements for the loading, unloading and turning of delivery, construction and service vehicles clear of the highway across all phases;
- f. arrangements for the parking of contractors vehicles across all phases;
- g. arrangements for wheel cleaning across all phases;
- h. arrangements for the storage of materials across all phases;
- i. hours of work, including those associated with the demolition of buildings;
- j. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emissions from construction and demolition' or relevant replacement;
- k. the siting and size of any temporary ancillary buildings across all phases
- l. Measures to use operators committed to best practice, demonstrated by membership of TfL's Freight Operator Recognition Scheme (FQRS), or similar
- m. Demolition Method Statement including a scheme for recycling/disposing of waste resulting from demolition and construction works

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority. The approved facilities and methodology shall be provided prior to the commencement of site works and shall be used and maintained during the construction period.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

4. Drainage

The development shall be carried out in accordance with the Drainage Strategy approved under ref: 15/05197/CND and pursuant to ref: 14/04574/OUT as varied by 15/04547/FUL and maintained as such thereafter

Reason: To ensure the sustainable management of water, minimise flood risk and to minimise discharge of surface water outside of the curtilage of the property in accordance with Policy CP28 of the Core Strategy, DMD59-63, Policies 5.12 & 5.13 of the London Plan and the NPPF.

5. Deliveries of Construction Materials

Deliveries of construction and demolition materials to and from the site by road shall take place between 08:00 - 18:00 Monday to Friday & 08:00 -

13:00 on Saturday and at no other time except with the prior written approval of the Local Planning Authority.

Reason: To minimise noise disturbance.

6. Demolition (Nesting Birds)

Demolition of the existing building is to be carried out outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check areas suitable for nesting birds immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the proposed development in accordance with national wildlife legislation and in line with CP36 of the Core Strategy. Nesting birds are protected under the Wildlife and Countryside Act, 1981 (as amended).

7. Vegetation Clearance (Nesting Birds)

All areas of hedges, scrub or similar vegetation where birds may nest which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the proposed development in accordance with national wildlife legislation and in line with CP36 of the Core Strategy. Nesting birds are protected under the Wildlife and Countryside Act, 1981 (as amended).

8. Further Contamination

If, during the development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted a remediation strategy to the local planning authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the local planning authority. The remediation strategy shall be implemented as approved.

Reason: Intrusive investigations will not necessarily capture all contaminants present, hence the need to appropriately address any new source discovered during excavation and development.

9. Landscaping

Within 6 months of commencement of works and having due regard to the approved Design Code pursuant to condition 4 of approvals under ref: 14/04574/OUT as varied by 15/04547/FUL, full details of both hard

surfacing and soft landscape proposals have been submitted to and approved by the Local Planning Authority. The details shall include:

- a. Detailed design, layout, surfacing materials, landscaping strategy, street furniture and maintenance of areas of public realm
- b. Planting plans
- c. Written specifications (including cultivation and other operations associated with plant and grass establishment)
- d. Schedules of plants and trees, to include native and wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities)
- e. Full details of tree pits including depths, substrates and irrigation systems
- f. Specification of all proposed tree planting has been approved in writing by the Local Planning Authority. This specification will include details of the quantity, size, species, position and the proposed time of planting of all trees to be planted, together with an indication of how they integrate with the proposal in the long term with regard to their mature size and anticipated routine maintenance
- g. Above surface sustainable drainage systems
- h. The location of underground services in relation to new planting
- i. Implementation timetables.
- j. Biodiversity enhancements, to include bird and bat boxes built into or on and around the new buildings
- k. Surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings

The surfacing and landscaping shall be carried out in accordance with the approved detail before the development is occupied or use commences.

All tree, shrub and hedge planting included within that specification shall be carried out in accordance with that specification and in accordance with BS 3936 (parts 1 & 4); BS 4043 and BS 4428.

A landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas in the hospital part of the development shall be submitted to and approved by the Local Planning Authority prior to the occupation of the hospital part of the development or any phase of the hospital part of the development, whichever is the sooner, for its permitted use. The landscape management plan shall be carried out as approved.

Reason: In order to ensure the satisfactory maintenance and management of these areas to assure a high quality public realm is provided in the long term and to provide for the maintenance of retained, and new, planting in the interests of preserving or enhancing visual amenity. To ensure the provision of amenity, and biodiversity enhancements, to be afforded by appropriate landscape design, and to increase resilience to the adverse impacts of climate change the in line with Core Strategy policies CP36 and Policies 5.1 - 5.3 in the London Plan.

10. Details of Materials

11. Details of Hard Surfacing

12. Details of Levels
13. Details of Enclosure
14. Details of External Lighting
15. Details of CCTV
16. Green Procurement
17. Site Waste Management Plan
18. Demolition Statement
19. Impact piling
20. Acoustic Report

No development shall take place until an acoustic report has been submitted to and approved by the Local Planning Authority. The report must set out the sound level generated from the energy centre and state the noise control measures to be employed to ensure the noise from the energy centre does not exceed a level of 5dB(A) below background noise levels at the façade of the nearest residential property.

The measures set out in the approved report must be fully implemented and permanently maintained.

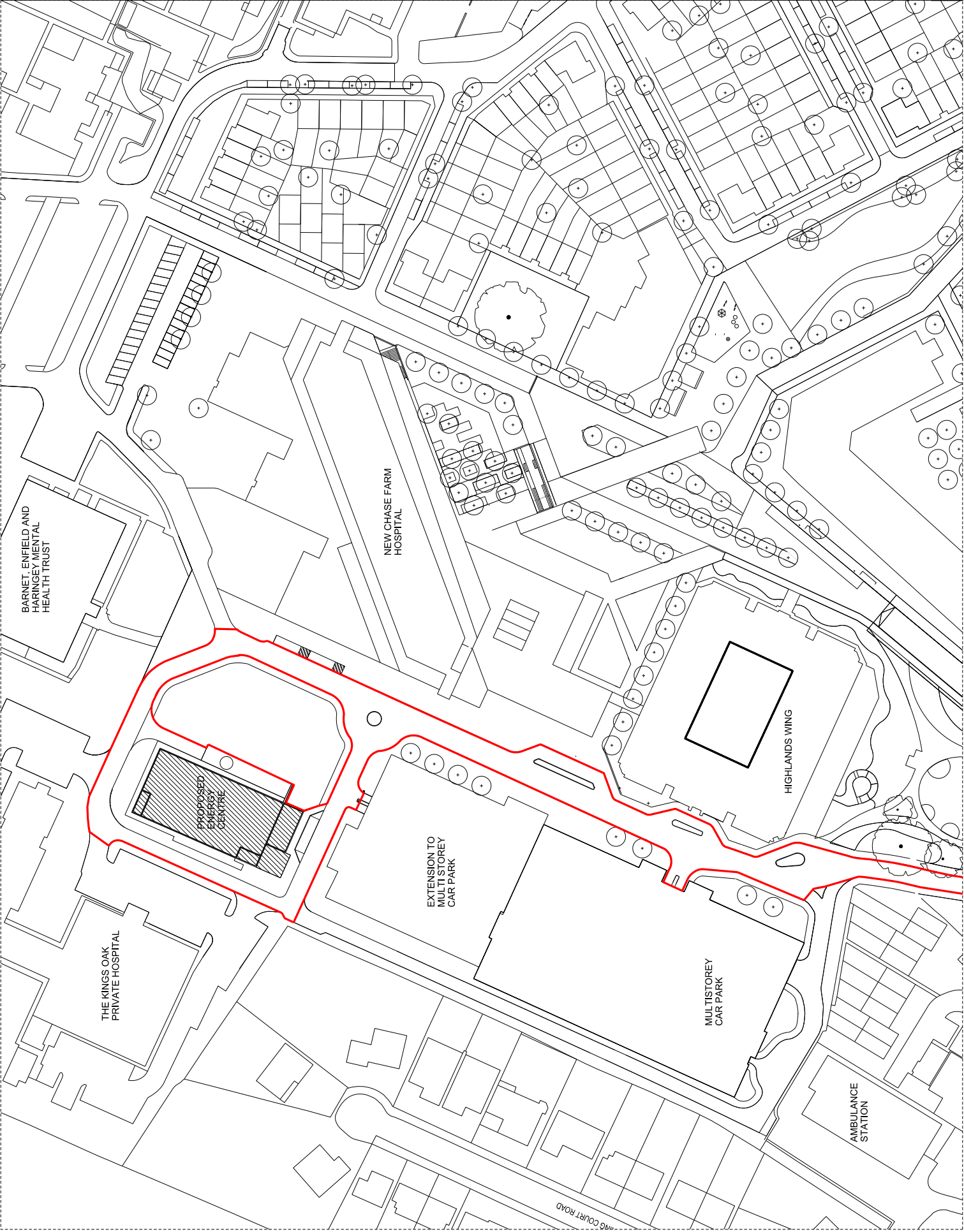
Reason: To protect the local amenity from noise and disturbance.

Notes:

- 1. The site plan is a simplified plan of the site and does not show the detailed layout of the buildings.
- 2. The site plan is a simplified plan of the site and does not show the detailed layout of the buildings.
- 3. The site plan is a simplified plan of the site and does not show the detailed layout of the buildings.
- 4. The site plan is a simplified plan of the site and does not show the detailed layout of the buildings.
- 5. The site plan is a simplified plan of the site and does not show the detailed layout of the buildings.

Scale: 1:1000

Item	Code	Description
1	SS	Proposed Energy Centre
2	SS	Extension to Multi-Storey Car Park
3	SS	Multi-Storey Car Park
4	SS	Highlands Wing
5	SS	New Chase Farm Hospital
6	SS	Barnet, Enfield and Haringey Mental Health Trust
7	SS	The Kings Oak Private Hospital
8	SS	Ambulance Station



IBI GROUP

CHASE FARM REDEVELOPMENT

Proposed Energy Centre Site Plan

DATE: 13/04/16

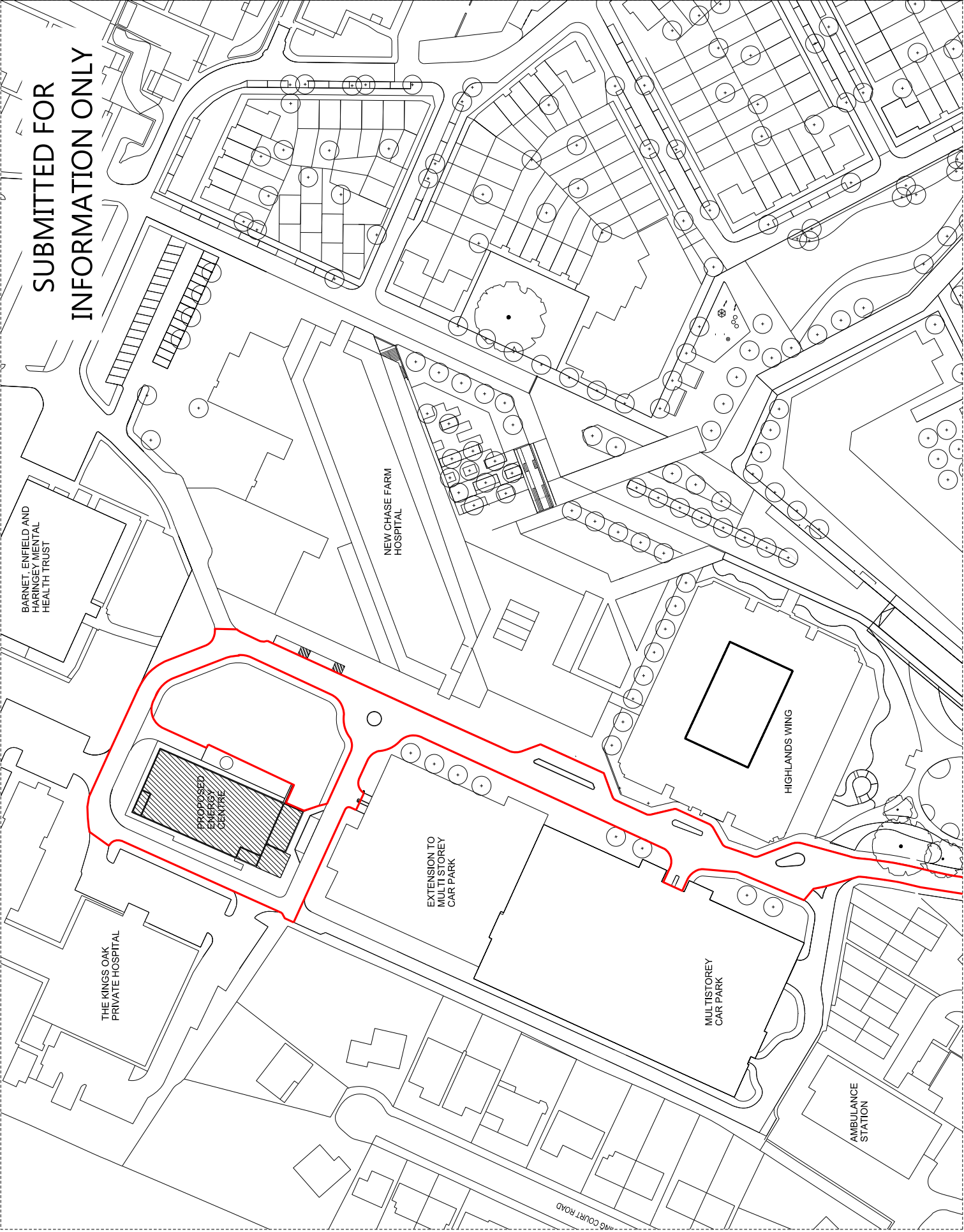
SCALE: 1:1000

DISCIPLINE: Planning

PROJECT NUMBER: IBHCC-XX-PL-100-002

Sheet: 3

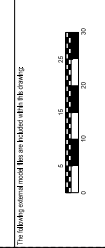
**SUBMITTED FOR
INFORMATION ONLY**



Notes:
 * The boundary of the site is shown by a dashed line.
 * All dimensions are in metres unless otherwise stated.
 * All dimensions are to the centre of the wall unless otherwise stated.
 * All dimensions are to the centre of the wall unless otherwise stated.
 * All dimensions are to the centre of the wall unless otherwise stated.

Scale: 1:1000

North Arrow



3	REVISIONS	Revised to include other comments and issues for Planning Submission	SS	GP
2	2024/10	Revised to include comments and issues for Planning Submission	SS	GP
1	2024/05	Revised to include comments and issues for Planning Submission	SS	GP
	DATE	DESCRIPTION	BY	FOR

EDGE ON BEHALF OF ROYAL FREE LONDON
 NHS FOUNDATION TRUST

IB
 CHASE FARM REDEVELOPMENT

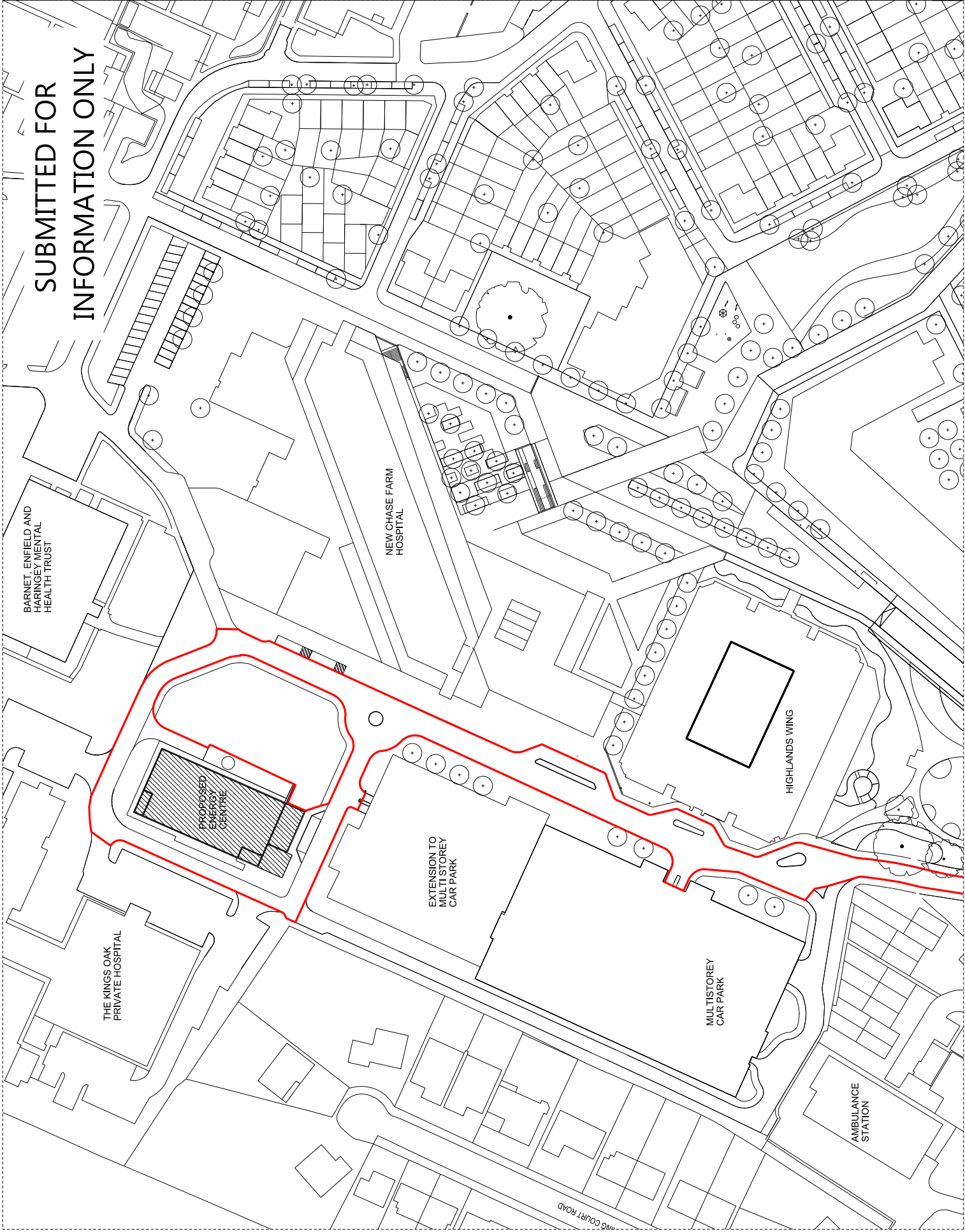
DRAWING TITLE		Proposed Energy Centre Site Plan	
DATE	13/04/16	SCALE	1:200
PROJECT NO.	S2	DISCIPLINE	Planning
DRAWING NUMBER	IBHCC-XX-PL-100-002	REVISION	3

Notes:
 * The boundary conditions are as shown.
 ** All dimensions are in millimetres unless otherwise stated.
 *** All dimensions are in metres unless otherwise stated.
 **** All dimensions are in feet unless otherwise stated.
 ***** All dimensions are in inches unless otherwise stated.

Scale: 1:1000

North Arrow

SUBMITTED FOR
INFORMATION ONLY



1	Structure	Structure	Structure
2	Structure	Structure	Structure
3	Structure	Structure	Structure

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 HAS FOUNDATION TRUST

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CHASE FARM REDEVELOPMENT

PROPOSED Energy Centre Site Plan

DATE: 13/04/16
 SCALE: 1:500
 DRAWING NO: S2
 PROJECT NO: IBHCC-XX-PL-100-002

Notes:
 • The boundary of the site is shown in red.
 • All dimensions are in metres unless otherwise stated.
 • The site is shown in red on the map.
 • The site is shown in red on the map.
 • The site is shown in red on the map.



The block is shown in red on the map.

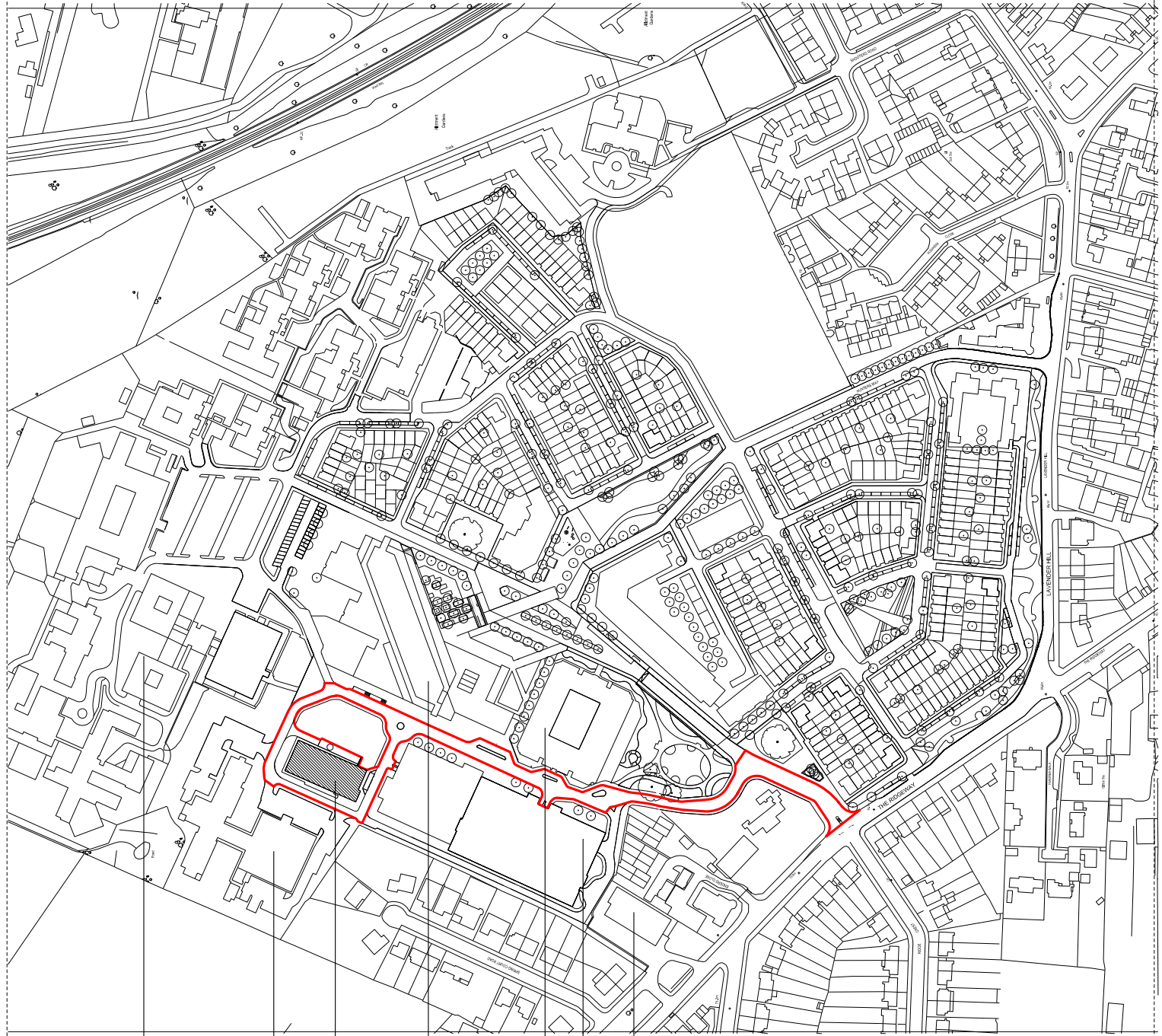
SUBMITTED FOR INFORMATION ONLY

2	2016/16	Planning Application	Refused to all W/20 applications and refused for	SI	GH
1	2015/15	Resource Management Strategy	Refused to all W/20 applications and refused for	SI	GH
				SI	GH
				SI	GH
				SI	GH
				SI	GH



CHASE FARM REDEVELOPMENT

Proposed Energy Centre Site Location Plan	
Project No	2007/15
Scale	1:1,250
Planning	
Drawn No	
IBHCC-XX-PL-100-003	
Sheet	2



BARNET, ENFIELD AND
HARINGEY MENTAL
HEALTH TRUST

THE KINGS OAK
PRIVATE HOSPITAL

PROPOSED
ENERGY CENTRE

NEW CHASE FARM
HOSPITAL

HIGHLANDS WING

MULTISTOREY
CAR PARK

AMBULANCE STATION

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 19/07/2016

Report of
Assistant Director, Planning,
Highways & Transportation

Contact Officer:
Andy Higham
Sharon Davidson
Mr Kevin Tohill

Ward:
Edmonton Green

Ref: 15/04513/FUL

Category: Full Application

LOCATION: Monmouth Road Car Park, 35-36 North Square And North Mall, Edmonton Shopping Centre, London

PROPOSAL: Erection of a 9-storey block to provide 77 residential units (comprising 28 x 1-bed and 49 x 2-bed flats) with balconies to front and rear elevations and solar panels to roof involving reduction in parking spaces and the reconfiguration of car park, conversion of vacant first floor commercial space (Class B1) to provide 5 x 3-bed residential units with amenity deck and refurbishment of North Mall retail thoroughfare.

Applicant Name & Address:

C/O Agent
United Kingdom

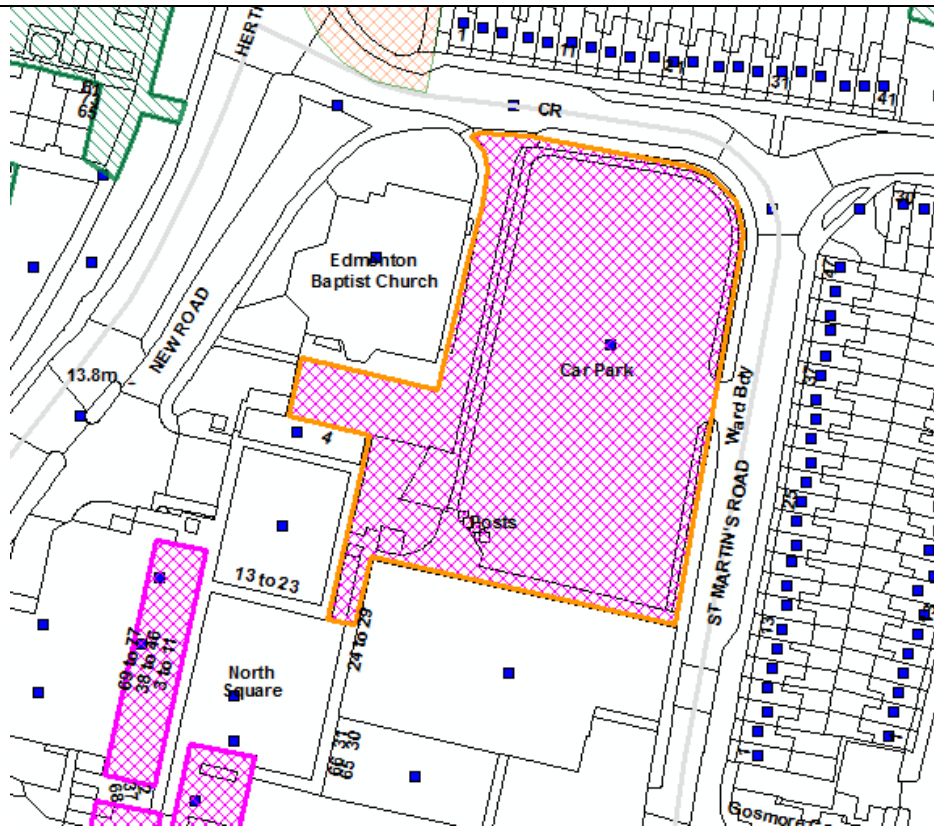
Agent Name & Address:

Mrs Claire Wilkinson
GL Hearn Ltd
280 High Holborn
London
London
W1CV 7EE

RECOMMENDATION: That upon completion of the s106 Legal Agreement the Head of Development Management/Planning Decisions Managers be Authorised to GRANT planning permission subject to conditions.

Note for Members:

Ref: 15/04513/FUL LOCATION: Monmouth Road Car Park, 35-36 North Square And North Ma



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Scale 1:1250



1. Site and Surroundings

- 1.1 The application site is a car park associated with Edmonton Green Shopping Centre. St. Martins Road is to the east of the site and Monmouth Road is to the north, to the west of the site is Edmonton Baptist Church and to the south and south west is the shopping centre.
- 1.2 Whilst the immediate site is a shopping centre, the surrounding area is generally residential in nature. On the opposite side of St. Martins Road and Monmouth Road there is two-storey terrace housing, there are four-storey residential blocks on the western side of Hertford Road and within the shopping centre site there are residential blocks, three of up to 25-storeys in height and up to eight-storeys above the Leisure Centre.
- 1.3 The site is not located in a Conservation Area and is not listed but The Crescent conservation area and Grade II Listed buildings are just to the north of the site. The site has a PTAL rating of 6a. The site is not located within a controlled parking zone and it is relatively flat lying.

2. Proposal

- 2.1 The applicant seeks full planning permission for the erection of a 9-storey block to provide 77 residential units (comprising 28 x 1-bed and 49 x 2-bed flats) with balconies to the front and rear elevations and solar panels to the roof.
- 2.2 The proposal involves a reduction in parking spaces and the reconfiguration of the car park. Additionally the proposal includes the conversion of vacant

first floor commercial space (Class B1) to provide 5 x 3-bed residential units with amenity deck and refurbishment of North Mall retail thoroughfare.

- 2.3 The residential development would be located at the southwest corner of the car park, at its lower floors abutting the 99p store to the south. At its northern end the block is positioned 8.2m to the east of the adjacent church
- 2.4 Amended plans have been received during the course of the application and the council has carried out a re-consultation exercise to update neighbouring occupiers of these changes. The revisions included improvements predominantly to the design and to servicing arrangements.

3. Relevant Planning History

- 3.1 15/02349/PREAPP
Proposed construction of 63 residential units within a 9-storey block to car park site (18 x 1-bed, 45 x 2-bed) with undercroft car parking, conversion of first floor retail/office accommodation above 2-9 North Square to 5 x 3-bed residential units together with refurbishment of North Square.

4. Consultation

Public Consultations

- 4.1 The original 21 day public consultation period started on the 14th October and concluded on 4th November. A site notice was posted close to the site and the application was also advertised in the local paper. At this stage there were four objections received from the public.
- 4.2 Following the receipt of a revised drawings it was necessary to re-consult local residents and this was undertaken in the week commencing 23rd May 2016. A petition objecting to the application with 40 signatures from the Monmouth Road area has been received, along with an objection from the adjacent church and 4 individual objections.

Concerns raised include:

- Impact on traffic and parking;
- The car park is extensively used each day by shoppers;
- Parking zones have recently been introduced around the north side of Edmonton green;
- Impact on light for neighbouring properties;
- Height of the proposal;
- Impact on the view of The Crescent (Listed Buildings);
- Strain on services in the area including North Middlesex Hospital;
- The development will add to disruption caused by cycle Enfield;
- Edmonton is neglected for services and open spaces and positive services for the community that already live here are needed;
- Overdevelopment of Edmonton;
- Overpopulation and overcrowding leading to increasing noise, crime, antisocial behaviour and alcoholism;
- Increase in rubbish on the roads;
- More congested roads will more dangerous for pedestrians;
- The area will feel more insecure and unsafe;

- There is hardly any greenery which may also disappear leaving tall concrete buildings;
- Concern about vehicular and pedestrian movement around the church;
- Uncomfortable relationship between the siting of the block and the church reduced to 10m;
- Pedestrians are unlikely to follow the designated route through the car park but will take the more direct route;
- Concern about servicing needs for new A1-A5 unit;
- The amended scheme shows no trees in the new square; and
- Concern from the church about the level of use and management of the route leading around the south and east of their building.

Internal

- 4.3 Urban Design - Concern regarding layout, quality of accommodation, lack of landscaping and open space, height, massing and detailing.
- 4.4 Environmental Health - No concerns regarding air quality or contaminated land but its needs to be demonstrated that an acceptable internal noise level is achieved.
- 4.5 Housing Officer - The over concentration of 1 and 2 bed units is not compliant and is unacceptable. 33 of the 82 units should be affordable housing.
- 4.6 Heritage - Concerns mounting to an objection to the proposal were received, discussed within the body of the report.
- 4.7 SUDS and Flood Risk - A sustainable drainage strategy is required and the September 2015 FRA is unacceptable as it proposed brownfield rather than greenfield runoff rates. This will be required by condition.

External

- 4.8 Thames Water - Consider the submitted information insufficient and propose conditions and informatives.
- 4.9 Environment Agency - No comments received.
- 4.10 Urban Design London - Concern about the lack of an overarching spatial plan to enable a comprehensive approach. PRS requires well managed and good servicing provision, did not support the proposal.

5. Relevant Policy

5.1 Development Management Document

DMD1	Affordable Housing on site capable of providing 10 or more units.
DMD3	Providing a Mix of Different Sized Homes
DMD6	Residential Character
DMD8	General Standards for New Residential Development
DMD9	Amenity Space
DMD10	Distancing

DMD22	Loss of Employment Outside of Designated Areas
DMD27	Angel Edmonton, Edmonton green, Southgate and Palmers green District Centres
DMD37	Achieving High Quality and Design-Led Development
DMD40	Ground Floor Frontages
DMD44	Conserving and Enhancing Heritage Assets
DMD45	Parking Standards and Layout
DMD47	New Roads, Access and Servicing
DMD48	Transport Assessments
DMD49	Sustainable Design and Construction Statements
DMD50	Environmental Assessment Methods
DMD51	Energy Efficiency Standards
DMD55	Use of Roof Space/Vertical Surfaces
DMD56	Heating and Cooling
DMD58	Water Efficiency
DMD59	Avoiding and Reducing Flood Risk
DMD60	Assessing Flood Risk
DMD61	Managing Flood Risk
DMD62	Flood Control and Mitigation measures
DMD64	Pollution Control and Assessment
DMD65	Air Quality
DMD66	Land Contamination and Instability
DMD72	Open Space Provision
DMD73	Children's Play Space
DMD79	Ecological Enhancements
DMD80	Trees on Development Sites
DMD81	Landscaping

5.2 Core Strategy

CP2	Housing supply and locations for new homes
CP3	Affordable housing
CP4	Housing quality
CP5	Housing types
CP16	Taking part in economic success and improving skills
CP17	Town Centres
CP20	Sustainable energy use and energy infrastructure
CP21	Delivering sustainable water supply, drainage and sewerage infrastructure
CP22	Delivering sustainable waste management
CP25	Pedestrians and cyclists
CP30	Maintaining and improving the quality of the built and open environment
CP31	Built and Landscape Heritage
CP32:	Pollution
CP39	Edmonton
CP46	Infrastructure Contribution

5.3 London Plan (March 2015) (FALP)

Policy 3.3	Increasing housing supply
Policy 3.4	Optimising housing potential
Policy 3.5	Quality and design of housing development
Policy 3.6	Children and young people's play and informal recreation facilities
Policy 3.8	Housing choice

Policy 3.9	Mixed and balanced communities
Policy 3.10	Definition of affordable housing
Policy 3.11	Affordable housing targets
Policy 3.12	Negotiating affordable housing on schemes
Policy 3.13	Affordable housing thresholds
Policy 5.2	Minimising carbon dioxide emissions
Policy 5.3	Sustainable design and construction
Policy 5.4	Retrofitting
Policy 5.7	Renewable energy
Policy 5.9	Overheating and Cooling
Policy 5.10	Urban greening
Policy 5.11	Green Roofs and Development Site Environs
Policy 5.13	Sustainable drainage
Policy 5.14	Water quality and wastewater infrastructure
Policy 5.15	Water use and supplies
Policy 5.16	Waste self sufficiency
Policy 6.9	Cycling
Policy 6.10	Walking
Policy 6.13	Parking
Policy 7.2	An inclusive environment
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.5	Public realm
Policy 7.6	Architecture
Policy 7.8	Heritage Assets and Archaeology

5.4 Other Relevant Policy

- National Planning Policy Framework

5.5 Other Material Considerations

- The Mayors Housing SPG (2016)

6. Analysis

6.1 The main issues for consideration regarding this application are as follows:

- Principle of the Development;
- Acceptability of PRS model;
- Scale and Density;
- Design and Impact on the Character of the Surrounding Area and Heritage Assets;
- Neighbouring Amenity;
- Proposed Type and Mix of Units;
- Standard of Accommodation and Private Amenity provisions;
- Traffic, Parking and Servicing Issues;
- Affordable Housing and other S106 Contributions;
- Sustainability; and

6.2 Principle of the Development

6.2.1 The principle of a new residential development within Edmonton Green District Centre is considered to be acceptable subject to the development

being appropriate and complying with Council policies. Policy CP39 set out aspirations to enhance the areas liveability but also acknowledges that further housing, shops and employment will be required to reinforce and enhance the identity of the area. The proposal delivers housing within the area, and therefore partially contributes to the aim of this policy.

- 6.2.2 While at the pre-application stage, officers expressed a preference for a comprehensive plan for the regeneration and redevelopment of the whole site, together with the wider town centre, to ensure redevelopment and housing numbers are optimised, there is no in principle objection to the redevelopment of part of the car park. This does however require further detailed assessment, particularly in terms of urban design and parking/servicing.
- 6.2.3 The conversion of the redundant offices has been considered against policy DMD22. The planning statements explains that the offices were constructed in the 1970's and are now beyond their economic life, not having benefitted from any investment required to modernise the accommodation, they have therefore remained vacant for two years. A Market Demand and Viability Assessment which would usually be expected to demonstrate that marketing efforts have been undertaken to support a change of use, hasn't been received. However the proposed replacement residential use is appropriate in this location subject to compliance with Council policy.

6.3 Density

- 6.3.1 Policy 3.4 (Table 3.2) of the London Plan sets standards for appropriate density levels with regards to location, existing building form, massing, and having regard to the PTAL (Public Transport Accessibility Level) score. The site is considered to have an urban character and the PTAL in this instance is high at 6a, the density table therefore advocates up to 260 units per hectare.
- 6.3.2 The planning statement suggests that the density is 130 units per hectare, this is based on the inclusion of the entire site area which primarily consists of the retained car park which does not form part of the curtilage of the actual proposed residential development. As such this calculation is not considered to be a true reflection of the density of the proposal, a density of 130 units per hectare would in fact be an underdevelopment of this site in this location.

- 6.3.3 The development has no private curtilage outside of its footprint and based on the footprint as the site area the density is 716 units per hectare. If the site area is stretched out to include the areas identified on the block plan which are necessary for the servicing of the development, primarily to the north and west of the site, the density is around 295 units per hectare.
- 6.3.4 The method for the calculation of the density proposed by the Applicant can be argued, but in isolation officers consider the density of the proposal for this building to be in excess of the density thresholds for an urban area. However density is not the only consideration and the quality of a development and the contribution it makes to public benefit can justify the support of higher densities. This consideration is set out below.
- 6.4 Design and Impact on the Character of the Surrounding Area and Heritage Assets
- 6.4.1 The proposed new development is a nine-storey block and as set out above the context of the site varies greatly from two-storey terrace houses to tower blocks of over 20 storeys in height. These do establish a precedent for height above the nearby traditional houses, especially as that proposed is contiguous with the Edmonton Green shopping centre.
- 6.4.2 The siting of the development within the car park was the subject of some consideration as set out in the design evolution section of the D&A. Perimeter blocks were explored to relate to the character of surrounding streets and this was supported by officers, but the tighter relationship with neighbouring dwellings were considered to impose limitations on the quantum of development the applicant sought to viably achieve. It would also impact more significantly on the quantum of parking which could be retained. The location selected in the southwest corner of the car park, and adjacent to the town centre uses, maximises the retained car parking spaces.
- 6.4.3 In response to officer's comments the design of the block has changed quite considerably during the lifetime of the current application. The proposal consists of a brick building nine storeys in height with the flat roofed top floor recessed from the northern and southern elevations. Floor to ceiling style windows follow consistent rhythms around the elevations and glazed balconies and coloured panels adjacent to some windows add some further elevational detail. The use of brick is welcomed and to ensure a successful finished appearance officers recommend a condition regarding the depth of window reveals.
- 6.4.4 Although neither side of the block fronts a road, the proposed orientation envisages its front elevation on the western side, which is the side closest to the bus and train stations and so most logical for pedestrian access. The rear elevation abutting the public car park provides secondary access as well as access to the undercroft disabled parking spaces, cycle stores and the plant room.
- 6.4.5 Officers have worked with the architect to seek to improve the proposed public realm around the development. A small retail/café unit is proposed at ground floor in the front elevation which may introduce some activity and connect the site to the adjacent town centre uses. While trees are being

removed it is important that they are replaced to meet local and London policy and they can be accommodated both within the small landscaped area at the main entrance to the block and potentially around the existing car park.

6.4.6 The building is set well in from the surrounding roads (42m from the north, 30m from the east and 69m from the west) but the car park and adjacent low rise retail and church buildings do not screen the nine-storey block. The nearby development consisting of the leisure centre and flats above, opposite Edmonton Green station, fronts the street directly and has a very prominent appearance. The proposal whilst taller will not directly dominate the street in the same way and will be of a slightly better quality of architecture, particularly with the use of brick. The views of the proposal submitted with the initial design, can be used to understand the visibility of the development in the streetscene. Though large and prominent it is not considered overbearing primarily due to its location within a car park and lack of immediate residential neighbours or street-fronting location, and the revised design has reduced the bulk form the original submission.

6.4.7 The NPPF sets out that local planning authorities should identify and assess the significance of any heritage asset that may be affected and take this into account when considering the impact of the proposal. Therefore, the proposal also has to be assessed with regard to any impact it may have on the conservation area and listed buildings, The Crescent, to the north. The consistent parapet line of The Crescent is one of its important features and concern was raised that the proximity of the nine-storey building projecting above this would harm this feature. The council's heritage officers expressed concern that insufficient analysis of the application and its impact on the nearby heritage assets has been undertaken particularly including how views of the development could affect the heritage setting in terms of both 'key' and longer views from Hertford Road.

6.4.8 Para. 134 of the NPPF states that where a development will lead to some harm to the significance of a designated heritage asset, but the harm is considered to be less than substantial, this should be weighed against the public benefits of the proposal.

6.4.9 The original D&A sets out that the conservation area is 65m from the development and the closest building in 100m away. The siting of the building back from the main road means that the main corridor view is not directly affected but the development will be visible in the skyline above the roofs at the southern end of The Crescent. The tower blocks are already prominent in this view, the proposed development is significantly closer and may appear bulkier but it is much lower and trees help to some extent to disguise it. The harm is considered to be less than substantial while the development delivers both new housing and the refurbishment and uplift of the appearance of the North Mall.

6.5 Impact on Neighbouring Amenity

6.5.1 The significant separation distances between the proposed building and the surrounding roads, set out above, prevent any impact on overlooking or privacy. However the building still has potential to impact on the daylight and sunlight experienced by surrounding residents.

6.5.2 In the daylight/sunlight report submitted with the application the assessor concludes that the development would not adversely impact on daylight and sunlight amenity received by neighbouring residents. Following the revision proposal a supplementary letter was provided expressing the conclusion that the amendments including the introduction of a set in to the top floor at the northern and southern end of the building, the repositioning of the development 1.5m to the west and 2m to the north would not materially impact on the initial findings and may in some instances improve the relationship.

6.6 Type and Mix of accommodation

Type of accommodation

6.6.1 The application proposes a residential block purpose built for private rent, known as build to rent or PRS, the vacant offices are also proposed to be converted for the same use. The London Plan (2015) policy 3.8 views this tenure of development positively and supports growth in private renting where this will result in well managed, good quality accommodation, mixed and balanced communities and sustainable neighbourhoods.

6.6.2 The proposed privately rented units will be let and managed by the applicant. One suggested benefit of this type of rented accommodation is an assurance of the quality of the management which can be a problematic issue elsewhere in the sector for example with rogue or inexperienced landlords. The s106 will detail the requirements of the applicant with regard to management, lettings and rent increases.

Housing Mix

6.6.3 DMD 3 and Policy 5 of the Core Strategy seeks new development to incorporate a mix of dwelling types and sizes to meet housing needs in the Borough with family sized accommodation (3 bed or larger) is the greatest area of need. The Council's dwelling mix ratios are as follows:

- 1 and 2 person flats - 20%
- 2 bed flats - 15%
- 3 bed houses - 45%
- 4 + bed houses - 20%

6.6.4 The development across the two sites will result in 82 units providing the following dwelling mix:

- 28 x 1 bed (34%)
- 49 x 2 bed (60%)
- 5 x 3 bed (6%)

6.6.5 Rather than providing 65% family size units the development provides 6%, the family units are all accommodated within the converted office units rather than in the new building. It is however accepted that the type of development proposed, for private renters with minimal access to amenity space, would be poorly suited for family accommodation.

6.6.6 It is also relevant that although the proposal provides a low level of family sized accommodation, the surrounding area has a high number of family sized houses, and in the round this is considered to balance out.

6.6.7 Given the current London Plan's support or developments for private rent, prior to any review undertaken by the new Mayor, the application, subject to terms in the legal agreement securing details of marketing and management, the proposal is on balance acceptable.

6.7 Standard of Accommodation and Private Amenity provisions

Quality of accommodation

6.7.1 Policy 3.5 of the London Plan specifies that 1 bed flats should a minimum floor area of 50sqm, 2 bed flats should have a minimum internal floor area of 61 square metres with 3b4p flats at 74sqm or 3b6p flats at 86sqm. All units have been measured and verified and are above the required London Plan standards for the respective units. From assessing the plans all units would have useable and accessible layouts and all room sizes are acceptable with specific regards to living/diners and single and double bedrooms. While the vast majority of the units (60%) are single aspect which would normally be considered unacceptable due to the poor outlook, ventilation and daylight/sunlight this provides residents, as none of these are single aspect north facing, and this new development would potentially help regeneration, this is considered sufficient in this instance.

6.7.2 The D&A confirms that 10% of the units will be wheelchair accessible.

Private Amenity

6.7.3 London Housing SPG and the Enfield's adopted Development Management Document, set out appropriate amenity space standards for residential developments.

6.7.4 Policy DMD9 specifies the requirements for private and communal amenity space for such developments and the London Housing SPG seeks 5sqm of private space for each unit.

6.7.5 Each of the proposed flats within the new building would be served by its own balcony, or terraces on the upper floor, achieving the minimum 5sqm requirement. There is no communal amenity space proposed due to the tight confines of the site.

6.7.6 The larger family sized three bed units in the converted building have no private amenity space, they are accessed via an external deck which could to some extent be utilised as amenity space though given the rented nature of the development the extent to which residents will invest in enhancing the usability of this space may be limited. These units do however benefit from a generously sized communal amenity space on a deck. No detail is provided of how this space will be screened or treated, so full details, including planters capable of accommodating mature shrubs, shall be required by condition.

6.8 Traffic and Transportation

Implication for existing car park

- 6.8.1 The proposal will result in the loss of 39 spaces in the existing car park. Transportation officers recommend the requirements of a contribution of £30,000 towards the review, consultation and implementation of changes to the management of on-street parking within reasonable walking distance from the site to mitigate the impact of potential overspill parking.

Pedestrian Access

- 6.8.2 The revised arrangement has improved the proposed pedestrian access from an arrangement which was considered to be unacceptable. A designated route through the car park is indicated though full details are required by condition. The location of the front entrance and introduction of a small retail type unit may provide some activity and sense that the entrance is visible and safe.

Access for servicing

- 6.8.3 The proposals for servicing and drop-offs originally envisaged that vehicles would enter and exit from the same point. This would require vehicles to manoeuvre in front of the building in the area which would also be used by pedestrians and cyclists. This arrangement was considered to be unacceptable. The revised proposal utilises the entrance from the east and proposes a one-way through route exiting to the north. The one way traffic and the removal of the need to manoeuvre is much more conducive to a safe environment for pedestrians accessing the building.

Car Parking

- 6.8.4 In a new residential development it would usually be anticipated that parking should be provided for each unit. In this location the PTAL 6a is very good so parking provision would be expected to be at the lowest level. It is, however, proposed that the development will be car free in that no parking is proposed for the residents, with the exception of the provision of 10 wheelchair accessible parking spaces accommodated in the undercroft of the block. The level of access to public transport makes this acceptable in principle.
- 6.8.5 It has been suggested that there could be scope for residents to rent spaces in the multi-storey car park but this does not form part of the planning application.
- 6.8.6 Whilst it is not currently in a CPZ the site is adjacent to the boundary of the extended Edmonton Green CPZ. It is considered that in an area of high parking stress, the development should be car free with the exception of the disabled parking and should be exempt from any future CPZ, this would be secured within the s106.

Cycle Parking

- 6.8.7 The provision of two-tier cycle storage is not supported by Transportation officers as it is not easy or convenient to use is not considered appropriate for residential developments. However it is unlikely that the quality of cycle storage could otherwise be achieved, conditions will be required by condition allowing the specifics of the design to be considered. 82 cycle storage spaces are proposed as two-tier and another store of 22 Sheffield stand allowing the

accommodation of a further 44 bikes. Resulting in a total capacity for 126 bikes which is sufficient to meet the London Plan standards for the mix of one and two bed units in the new block.

- 6.8.8 £26,667 is sought towards the provision of pedestrian/cycle infrastructure in the immediate vicinity of the site as part of the cycle Enfield project.

Waste

- 6.8.9 The proposed bin store, in the ground floor frontage, shows capacity for 20 large bins which is in line with the Council's requirements as set out in Enfield's Waste and Recycling Planning Storage Guidance (ENV-08-162):

Number of Properties	Number of Containers required for Refuse:	Number of Containers required for Recycling:
20+ units	4 x 1100 litre bin per 20 properties	1 x 1280 litre bin per 20 properties

These containers must be:

- Within 10 metres of the collection point;
- Bins must be stored on a hard surface or in a storage cupboard;
- Bins that are stored in a storage cupboard must be housed in chambers constructed in accordance with the British Standard Code of Practice BS 5906:1980 "Storage and On-Site treatment of solid waste from buildings"; and
- Footpaths between the container housing and the nearest vehicular access should be free from steps or kerbs, have a solid foundation, have a smooth solid surface, be level and have a gradient no more than 1:12 and a minimum width of 2 metres.

6.9 S106 Contributions and Obligations

Affordable Housing

- 6.9.1 Having regard to policies DMD1 and CP3 of the Core Strategy as the site is proposing 10 or more units (82) it should be complying with borough wide target of achieving 40% affordable housing and a mix of tenures to reflect a borough wide target of 70% social rent and affordable rent and 30% Intermediate.
- 6.9.2 However the NPPG sets out the developments built for private rent differ from build to sale developments in their economics and should be determined on a case by case basis. Including determining when affordable housing payments may be required to ensure the developments remain viable.
- 6.9.3 As part of the original submission the applicant has submitted a Viability Assessment that concluded that the scheme would not be viable to contribute on-site affordable units. This Viability Assessment was assessed by the councils own independently appointed Viability Assessor and was accepted.
- 6.9.4 The council is responsible for ensuring that local residents benefit from private development and that the maximum viable amount of affordable housing is achieved. In the case of development building for private rent elsewhere an approach has been developed to ensure that, at the point in time in the future (after the agreed 15 years) when the units may be switched

to sale a viability assessment will be undertaken and appropriate contributions towards affordable housing will be secured.

Education Contributions

- 6.9.5 Having regard to policy CP46 of the Core Strategy and the councils S106 SPD, this application would also be required to provide education contributions.

Highways

- £22,667 towards cycle route improvements and pedestrian environment improvements;
 - £30,000 towards the review, consultation and implementation of changes to the management of on-street parking within reasonable walking distance from the site;
 - One three year car club membership per unit and driving credit of £100 per membership; and
 - Exception from any future CPZ and car free with the exception of disabled parking.
- 6.9.6 S106 Monitoring fees to be agreed.

PRS

- 6.9.7 The following obligations are recommended for the specific type of accommodation proposed:
- Provide the units as private rented sector units for a minimum of 15 years (at which point, if the use is proposed to change, a viability review will be undertaken);
 - Marketing strategy covering the prioritisation of those who live and or work in the borough and demonstrating local marketing including in council publications; and
 - Private Rented Sector Management plan covering: length of initial lease a minimum of 12 months which can subsequently be renewed for up to 5 years at the owners discretion; consistent and quality level of housing management; rent increases, which shall reflect the market and not exceed one in any 12 month period.

Employment and Skills Strategy

- An employment and skills strategy (tba)

6.10 Sustainability

Sustainable Design and Construction

- 6.10.1 Appendix 3 of the DMD sets out the broad range of issues considered under this theme and this has been considered to some extent in the application submission. The provision for waste and recycling storage for future residents is set out above and the energy statement confirms that targets are achieved. The drainage details submitted with the application are unacceptable and a condition setting out the requirements is recommended.

The proposal hasn't explored ways in which the development could support improvements to ecology or urban greening, but the latter is included within a recommended condition.

Lifetime Homes

- 6.10.2 The London Plan and Core Strategy confirm that all new housing is to be built to Lifetime Homes' standards. Confirmation of this should be secured by condition/s106.

Energy / Energy efficiency

- 6.10.3 The London Plan adopts a presumption that all developments will meet carbon dioxide emission reductions that will improve upon 2013 Building Regulations, leading to zero carbon residential buildings from 2016. Policy 5.2 establishes a target to be a 35% improvement over Part L of current Building Regulations

Water efficiency

- 6.10.4 Requirements are recommended by condition.

6.11 CIL

- 6.11.1 The development would be liable to a Community Infrastructure Levy contribution as the size exceeds 100 sq.m. The net gain of the new created floor area is 7,361.22sq.m, inclusive of the 5 units proposed through the office space conversion.

- 6.11.2 As a result the borough CIL payment would be 7,361.22sq.m x £40 per sqm (CIL Rate for Edmonton Area) = £295,786.00

- 6.11.3 This would result in a Mayoral CIL contribution of 7,361.22sq.m x £20 = £147,224.40.

7 Conclusion

- 7.1 Although officers had looked to explore comprehensive redevelopment options, it is recognised that this scheme has to be considered on its merits taking into account the relationship to and continued regeneration of Edmonton Green shopping centre.

- 7.2 The development would deliver homes based on a private rent model (PRS), and maintained for this use for at least 15 years. No affordable housing is proposed but the development may in the future provide a contribution towards affordable housing delivery.

- 7.3 The design and appearance of the new block is acceptable and the impact on the nearby listed buildings is considered to be less than substantial.

- 7.4 As such, officers consider the scheme to be on balance, acceptable, subject to the conditions outlined as below and the completion of an acceptable s106 Legal Agreement.

Recommendation

- 8.1 On balance, it is recommended that planning permission be granted subject to conditions and signing of the s106.

Conditions:

3 Years

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

Approved Plans

2. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

Construction Management Plan

3. That development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:
- a. arrangements for wheel cleaning;
 - b. arrangements for the storage of materials;
 - c. hours of work;
 - d. arrangements for the securing of the site during construction;
 - e. the arrangement for the parking of contractors' vehicles clear of the highway;
 - f. The siting and design of any ancillary structures;
 - g. Arrangements for the loading and unloading of plant and materials;
 - h. Scheme for recycling/disposing of waste resulting from demolition and construction works;
 - i. Enclosure hoarding details; and
 - j. Measures that will be taken to control dust, noise and other environmental impacts of the development in accordance with 'London Best Practice Guidance: The control of dust and emission from construction and demolition'.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

Contamination

4. Prior to the commencement of building works, a scheme to deal with the risks associated with contamination of the site shall be submitted to and approved, in writing, by the local planning authority. That scheme shall include all of the following elements unless specifically excluded, in writing, by the Local Planning Authority and the development shall then proceed in strict accordance with the measures approved.
 - a. A desk study identifying: all previous uses; potential contaminants associated with those uses; a conceptual model of the site indicating sources, pathways and receptors; potentially unacceptable risks arising from contamination at the site;
 - b. Site investigation scheme, based on (1) to provide information for an assessment of the risk to all receptors that may be affected, including those off site;
 - c. The results of the site investigation and risk assessment (2) and a method statement based on those results giving full details of the remediation measures required and how they are to be undertaken.
 - d. A verification report on completion of the works set out in (3) confirming the remediation measures that have been undertaken in accordance with the method statement and setting out measures for maintenance, further monitoring and reporting.

Any changes to these agreed elements require the express consent of the Local Planning Authority.

Reason: In order to ensure that the development does not pose an unacceptable risk to the quality of the groundwater.

Sustainable Drainage Strategy

5. The development shall not commence until a Sustainable Drainage Strategy has been submitted to and approved in writing by the Local Planning Authority. The details shall be based on the disposal of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework and should be in line with our DMD Policy SuDS Requirements:
 - a. Shall be designed to a 1 in 1 and 1 in 100 year storm event with the allowance for climate change;
 - b. Follow the SuDS management train and London Plan Drainage Hierarchy by providing a number of treatment phases corresponding to their pollution potential;
 - c. Should maximise opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value;
 - d. The system must be designed to allow for flows that exceed the design capacity to be stored on site or conveyed off-site with minimum impact;

- e. Clear ownership, management and maintenance arrangements must be established; and
- f. The details submitted shall include levels, sizing, cross sections and specifications for all drainage features.

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy and Policies 5.12 & 5.13 of the London Plan and the NPPF and to maximise opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value.

- 6. Prior to occupation of the development, a Verification Report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing. This report must include:
 - a. As built drawings of the sustainable drainage systems;
 - b. Level surveys of completed works;
 - c. Photographs of the completed sustainable drainage systems;
 - d. Any relevant certificates from manufacturers/ suppliers of any drainage features;
 - e. A confirmation statement of the above signed by a chartered engineer.

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy and Policies 5.12 & 5.13 of the London Plan and the NPPF.

Piling Method Statement

- 7. No impact piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to impact on local underground sewerage utility infrastructure. The applicant is advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the details of the piling method statement.

Detailed Drawings

- 8. Detailed drawings to a scale of 1:20 to confirm the detailed design and materials of the:
 - a. Schedule and sample of materials used in all elevations, should also include brick/cladding sample board (bonding and pointing);

- b. Details of all windows and doors at scale 1:10, windows shall be set at least 115mm within window reveal scale 1:10;
- c. Details of balconies, bris soliel and canopies;
- d. Construction details of all external elements at 1:20 scale (including sections). This should include: entrances and exits, glazing, masonry, weathering and flashings, balustrades and parapets, roof, plant and plant screening, health and safety systems;
- e. Full drawn details (1:20 scale elevations, 1:2 scale detailing) of the railings, gates and shutters (including hinges, fixings, locks, finials);
- f. Details and locations of rain water pipes; and
- g. Details of treatment of and screening of amenity deck including planters and seating.

Shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development above ground hereby permitted. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: To safeguard and enhance the visual amenities of the locality.

Samples and Materials

- 9. Prior to commencement of development above ground hereby approved, a sample panel and a schedule of materials to be used in all external elevations including walls, doors, windows front entrances and balconies within the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority before any building work commences and this condition shall apply notwithstanding any indications as to these matters which have been given in the application. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: In order to ensure that the building has an acceptable external appearance and preserves the character and appearance of the conservation area.

Surfacing Materials

- 10. Prior to the commencement of development other than the super structure, details and design of the surfacing materials to be used within the development including footpaths, shared surfaces, access roads, parking areas, road markings and all other hard surfacing shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

- 11. Prior to the commencement of buildings works above grade, a Landscape and Public Realm Strategy for all external public realm areas within the curtilage of the site hereby approved shall be submitted to and approved by the Local Planning Authority. This Strategy is to include, amongst other things, details of proposed plant and tree maintenance, paving materials, pedestrian priority materials and shared surface treatments, plant species, ground levels, green roofs, boundary treatments and water features. The

development shall be in accordance with the approved details, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the proposed landscaping areas are of a high quality and for consistent treatment of the public realm.

Soft Landscaping

12. Prior to the commencement of development other than the super structure, details of trees, shrubs, grass and all other soft landscaped areas of internal and external amenity spaces (including roof terraces) to be planted on the site shall be submitted to and approved in writing by the Local Planning Authority. The planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

Levels

13. The development shall not commence until plans detailing the existing and proposed ground levels including the levels of any proposed buildings, roads and/or hard surfaced areas have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure that levels have regard to the level of surrounding development, gradients and surface water drainage.

Lighting Strategy

14. Prior to occupation, full details of a lighting strategy, including details of the lighting of all public areas, cycle stores and buildings shall be submitted to and approved in writing by the Local Planning Authority. The approved lighting shall be installed before the commencement of the use and maintained thereafter. Development shall be implemented and retained in accordance with the approved details.

Reason: To ensure that the local Planning Authority may be satisfied with the details of the proposal.

Refuse Stores

15. The development shall not be occupied until details of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

Cycle Parking

16. The development shall not be occupied until details of the siting, number and design of secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

Energy Statement

17. The development shall not commence until a detailed 'Energy Statement' and relevant SAP calculations has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall provide for no less than 11% total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2010 ensuring that standard conversion factor indicate that natural gas is the primary heating fuel. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

Energy Performance Certificate

18. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority prior to occupation of the development.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

CHP Details

19. Prior to the commencement of buildings works above grade, full details of the locations of the proposed CHP facilities, including all associated storage, and a strategy for managing deliveries to these facilities and details of how the CHP can connect up to a future Energy Centre/Decentralised Energy Network

for the area, are to be submitted to and approved in writing by the Local Planning Authority and the development shall be constructed and operated thereafter fully in accordance with the approved details.

Reason: In the interests of securing a sustainable development.

Residential Sound Insulation

20. Prior to the commencement of buildings works above grade, full details of sound insulation for the residential units which shall show how the building has been designed to meet the following standards, and the number and location of the units which shall have noise measurements carried out shall be submitted to and approved in writing by the Local Planning Authority:
 - a. For living rooms, 35 dB(A) LAeq 16 hour between 07:00 and 23:00 hrs;
 - b. For bedrooms, 30 dB(A) LAeq 8 hour between 23:00 and 07:00 hrs; and
 - c. 45 dB(A) max for any individual noise event (measured with F time weighting) between 23.00 and 07.00hrs.

The development shall thereafter be carried out in accordance with the approved details.

Reason: To ensure that no nuisance or disturbance is caused to the detriment of the amenities of future occupiers.

No Amplified Sound

21. There shall be no amplified sound, speech or music system fixed, used, or audible outside the ground floor commercial premises (A1/A2/A3).

Reason: To ensure that no nuisance or disturbance is caused to the detriment of the amenities of neighbouring occupiers.

Use Sound Insulation

22. Prior to the commencement of buildings works above grade, full details of the soundproofing of premises and insulation of premises (including ventilation and flue systems) for all party walls and the ceiling/floor between the commercial floorspace, car parking and other common parts) and the residential use floors, shall be submitted to and approved in writing by the Local Planning Authority, and thereafter be retained for the duration of the use, to prevent fumes, smell and noise permeating into adjoining accommodation.

Reason: To ensure that no nuisance or disturbance is caused to the detriment of the amenities of neighbouring occupiers.

Plant Equipment

23. Prior to the commencement of buildings works above grade, full details of internal and external plant equipment and trunking, including building services plant, ventilation and filtration equipment, commercial kitchen exhaust ducting/ventilation (*if applicable*), shall be submitted to and approved in

writing by the Local Planning Authority prior to the commencement of development. All flues, ducting and other equipment shall be installed in accordance with the approved details prior to the use commencing on site and shall be retained for the duration of the use.

Reason: To ensure that no nuisance or disturbance is caused to the detriment of the amenities of neighbouring occupiers.

No Pipes

24. No pipes or vents (including gas mains and boiler flues) shall be constructed on the external elevations unless they have first been submitted to the Local Planning Authority and approved in writing. Any pipes and vents shall be installed as approved.

Reason: Such works would detract from the appearance of the building and would be detrimental to the visual amenities of the locality.

Servicing Management Plan

25. Prior to occupation of the development, full details of a servicing management strategy for the management of deliveries and servicing of the development, shall be submitted to and approved by the Local Planning Authority. Servicing shall thereafter be carried out solely in accordance with the approved details.

Reason: In order that the Local Planning Authority and Transport for London may be satisfied as to the effects of the scheme on the adjacent road network so as to avoid hazard or obstruction to the public highways.

Delivery Times

26. No deliveries shall be taken to, or dispatched from, the commercial elements hereby permitted other than between the hours of 08.00 and 22.00 Mondays to Saturdays, and at no time on Sundays, Bank Holidays or Public Holidays, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of future residential occupiers and the surrounding area.

Travel Plan

27. A Sustainable Travel Plan shall be submitted to and approved in writing by the Local Planning Authority prior to the use hereby permitted commencing. The measures approved in the Travel Plan shall be implemented prior to the residential use hereby permitted commencing and shall be so maintained for the duration of the use, unless the prior written approval of the Local Planning Authority is obtained to any variation.

Reason: To ensure that the travel arrangements to the residential development are appropriate and to limit the effects of the increase in travel movements.

Commercial Floorspace b4 Residential

28. Prior to the occupation of the residential units hereby permitted, the ground floor commercial floorspace shall be completed and available for occupation in accordance with the plans hereby approved, unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure the satisfactory provision of employment floorspace on the site.

Hours of Commercial Operation

29. The hours of operation of the ground floor commercial floorspace (A Use Classes) hereby permitted shall be submitted to and agreed in writing by the Local Planning Authority prior to first occupation of the relevant premises and shall not operate other than in accordance with the agreed hours unless agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of adjoining occupiers.

Wheelchair Adaptable Housing

30. At least 10% of the residential flats hereby permitted shall be designed so that they can be easily adaptable to meet the Wheelchair Housing standard.

Reason: To secure appropriate access for disabled people.

Lifetime Home Standards

31. All the units shall comply with Lifetime Home standards in accordance with details to be submitted to and approved in writing by the LPA. The development shall be carried out strictly in accordance with the details approved and shall be maintained thereafter.

Reason : To ensure that the development allows for future adaptability of the home to meet with the needs of future residents over their life time in accordance with Policy CP4 of the Core Strategy and Policy 3.5 of the London Plan 2011.

Crime Prevention Strategy

32. Notwithstanding the details of the development, hereby approved, a detailed crime prevention management and maintenance strategy detailing how the development will minimise opportunities for crime including details of a controlled access system, CCTV and external lighting shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the development.

Reason: To ensure that the development protects community safety.

Waste Water

33. Development shall not commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved by, the local planning authority in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the

public system until the drainage works referred to in the strategy have been completed.

Reason: The development may lead to sewage flooding; to ensure that sufficient capacity is made available to cope with the new development; and in order to avoid adverse environmental impact upon the community.

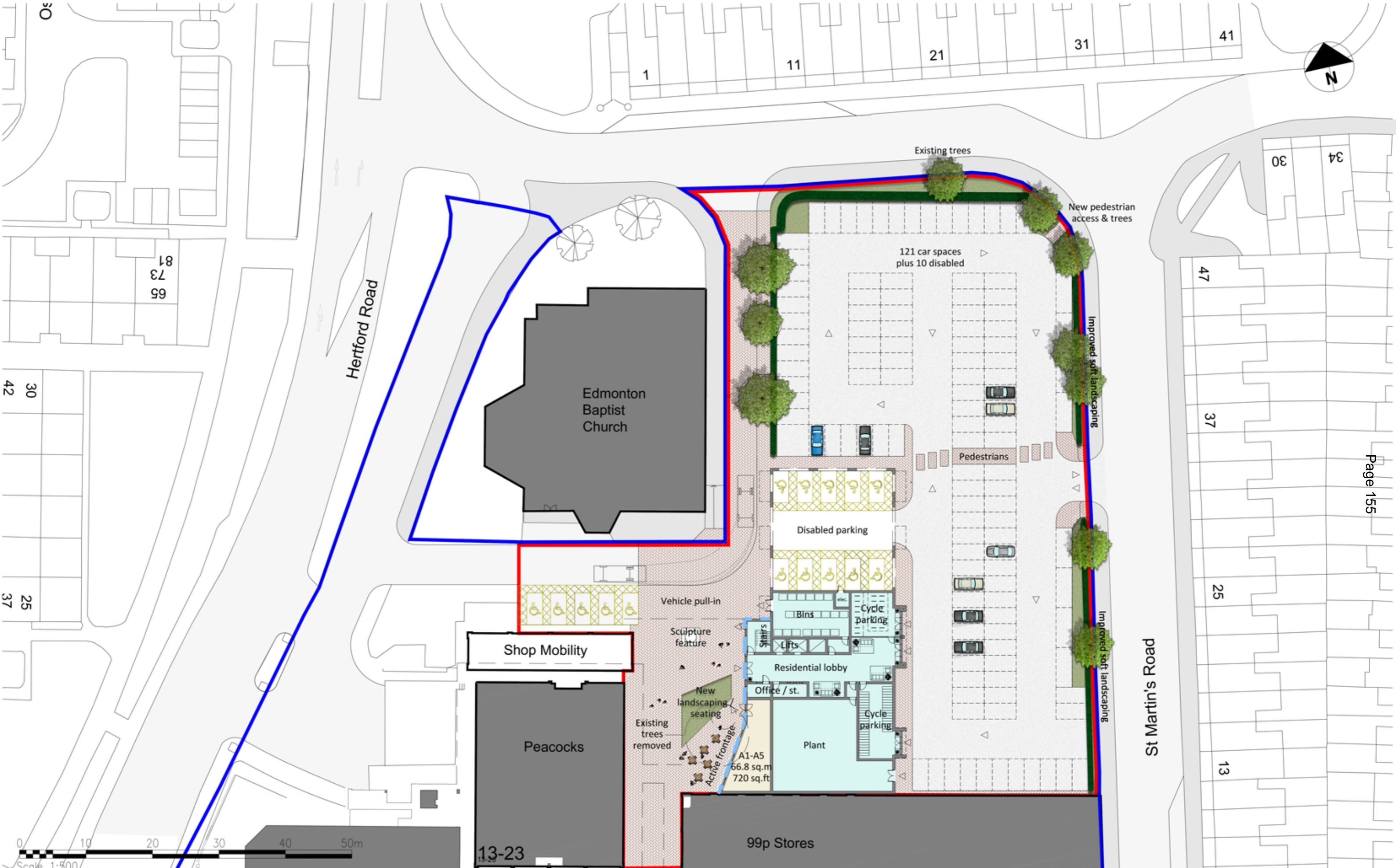
Informatives

- 1 This decision letter does not convey an approval or consent which may be required under any enactment, by-law, order or regulation, other than Section 57 of the Town and Country Planning Act 1990.
- 2 You are advised that this consent is without prejudice to any rights which may be enjoyed by any tenants/occupiers of the premises.
- 3 Your attention is drawn to the provisions of the Building Regulations, and related legislation which must be complied with to the satisfaction of the Council's Building Control Officer.
- 4 You are advised to consult the Council's Environmental Health Division concerning compliance with any requirements under the Housing, Food, Safety and Public Health and Environmental Protection Acts and any by-laws or regulations made there under.
- 5 You are advised to consult the Council's Environmental Health Division with regard to the extraction of fumes from the premises.
- 6 Your attention is drawn to the necessity to register your food business with the Council's Environmental Health Division, under the Food Premises (Registration) Regulations 1991 before the use commences. Failure to do so may result in prosecution.
- 7 Your attention is drawn to Sections 4 and 7 of the Chronically Sick and Disabled Persons Act 1970 and the Code of Practice for Access for the Disabled to Buildings (B.S. 5810:1979) regarding the provision of means of access, parking facilities and sanitary conveniences for the needs of persons visiting, using or employed at the building or premises who are disabled.
- 8 You are advised of the necessity to consult the Transport and Highways team within the Transport Division of the Directorate of Environmental Services, with regard to any alterations affecting the public footway.
- 9 You are advised of the necessity to consult the Council's Refuse team within the Environmental Health with regard to the provision of refuse storage and collection facilities.
- 10 You are advised that this permission does not authorise the display of illuminated advertisements at the premises and separate consent may be required from the Local Planning Authority under the Town and Country Planning (Control of Advertisements) Regulations 1992.

- 11 You are advised that this permission does not authorise the display of advertisements at the premises and separate consent may be required from the Local Planning Authority under the Town and Country Planning (Control of Advertisements) Regulations 1992.
- 12 You are advised that permission will be required for the installation of a new shopfront at these premises.
- 13 In connection with the soundproofing condition, you should consult the Council's Building Control Section before carrying out any works.
- 14 You are advised of the necessity to consult Transport for London via email (centrallicensing@tfl.gov.uk), prior to the commencement of construction in order to obtain necessary approvals and licences prior to undertaking any works within the public highway including scaffolding, temporary/permanent crossovers, oversailing/undersailing of the highway, drainage/sewer connections, hoarding, excavations (including adjacent to the highway such as basements, etc), temporary full/part road closures, craneage licences etc.
- 15 Any excavation or new groundworks at street or basement level associated with this development may expose or damage archaeological remains. Such works include the removal of the existing slab and/or foundations, construction of new foundations or floor slabs, lift pits, underpinning or service trenches.
- 16 The Local Planning Authority wishes to ensure that archaeological remains on this site are preserved in situ. The detailed proposals should include appropriate drawings, technical notes and method statements, showing how the objectives of in situ preservation are to be achieved. Particular attention should be paid to the design of foundations and new groundworks including piling, underpinning, new slab levels and slab construction, lift pits and new service trenches. You are advised to contact English Heritage's Archaeological Officers to discuss the submission of details required to discharge the archaeological condition(s).
- 17 Piling or other penetrative methods of foundation design can cause unacceptable risks to groundwater. A risk assessment should be carried out as per our guidance 'Piling into Contaminated Sites'. This and other guidance on piling in relation to condition 42 and into potentially contaminated sites is available at www.environment-agency.gov.uk. Click on the publications and search for piling. The applicant is also advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the proposals.
- 18 The water table is likely to be shallow at the site. It is therefore susceptible to pollution from oils and fuels from construction machinery.
- 19 The Environment Agency strongly recommends that the applicant consults our Pollution Prevention Guidance notes (PPGs). These are aimed at a wide range of industries and activities that have the potential to cause pollution. They can be downloaded from our website www.environment-agency.gov.uk
- 20 Surface Water Drainage - With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is

recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

- 21 Where a developer proposes to discharge groundwater into a public sewer, a groundwater discharge permit will be required. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Groundwater permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 8507 4890 or by emailing wwriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991.
- 22 Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.



Offices
 Woking
 London
 Milton Keynes
 Warsaw

Architecture
 Planning
 Master Planning
 Urban Design
 Interiors

24 Church St. West
 Woking, Surrey,
 GU21 6HT
 01483 494 350

Revisions:
 Rev A: Ground floor updated to current layout. OS amended at Hertford Road junction
 Rev B: Ground floor & parking reconfigured

Drawn/Chkd:
 MAC
 MAC

Date:
 021215
 220416

Client:
 ST MODWEN

Project:
 EDMONTON GREEN SHOPPING CENTRE

Drawing Title:
 BLOCK PLAN

Scale @ A3:
 1:500

Checked by:
 SC

Date:
 September 2015

Job No:
 10014

Stage:
 PL

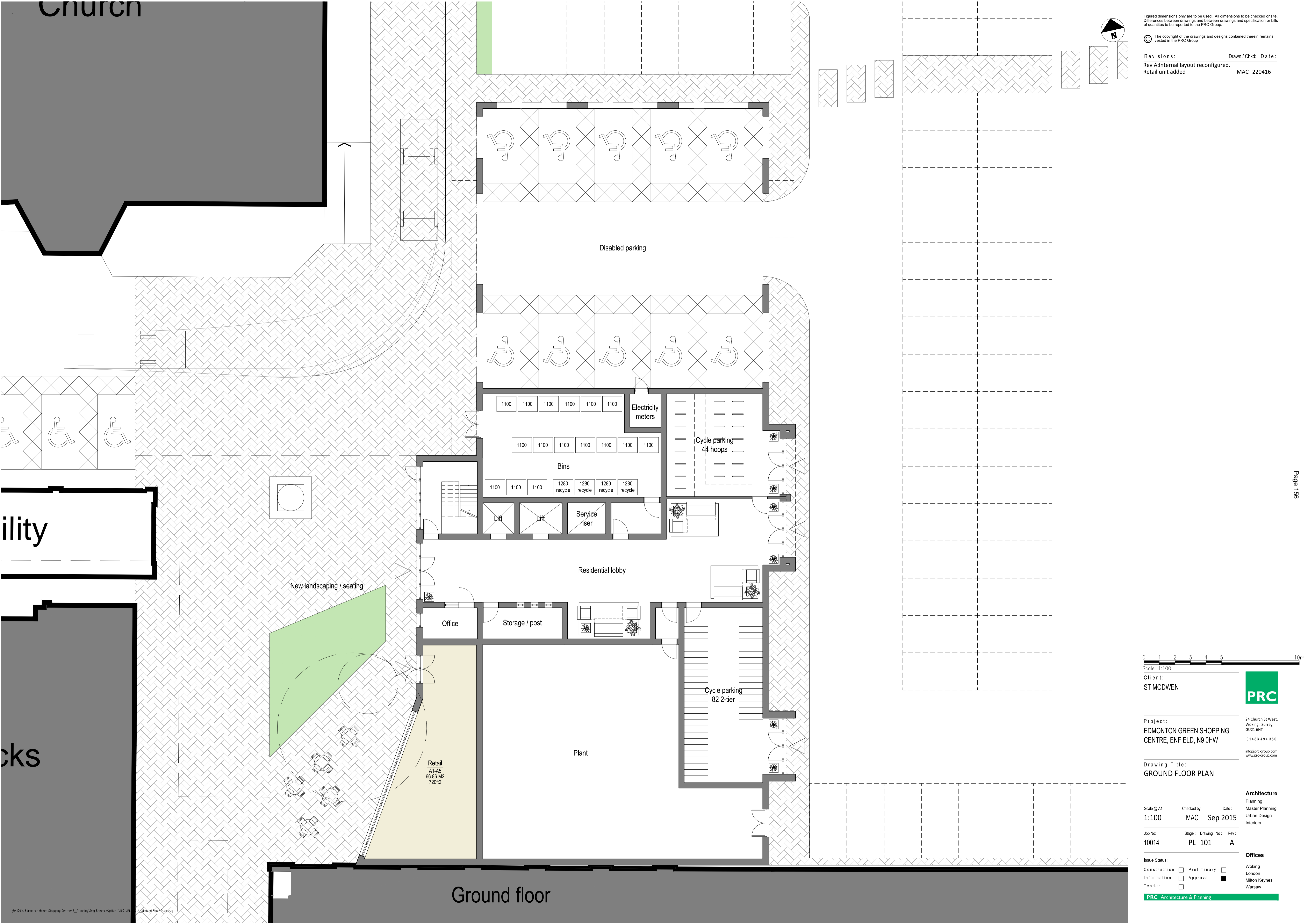
Drawing No:
 100

Rev:
 B

Construction Preliminary Information
 Approval Tender



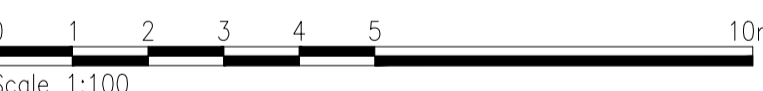
Figured dimensions only are to be used. All dimensions to be checked onsite. Differences between drawings and between drawings and specification or bills of quantities to be reported to the PRC Group. The copyright of the drawings and designs contained therein remains vested in the PRC Group.



Figured dimensions only are to be used. All dimensions to be checked onsite. Differences between drawings and between drawings and specification or bills of quantities to be reported to the PRC Group.

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Revisions: Drawn / Chkd: Date:
 Rev A: Internal layout reconfigured. MAC 220416
 Retail unit added



Scale 1:100
 Client: ST MODWEN



Project: EDMONTON GREEN SHOPPING CENTRE, ENFIELD, N9 0HW

24 Church St West, Woking, Surrey, GU21 6HT
 01483 494 350
 info@prc-group.com
 www.prc-group.com

Drawing Title: GROUND FLOOR PLAN

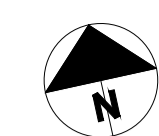
Scale @ A1: 1:100
 Checked by: MAC
 Date: Sep 2015

Job No: 10014
 Stage: PL 101
 Drawing No: 101
 Rev: A

Issue Status:
 Construction Preliminary
 Information Approval
 Tender

Architecture
 Planning
 Master Planning
 Urban Design
 Interiors
 Offices
 Woking
 London
 Milton Keynes
 Warsaw

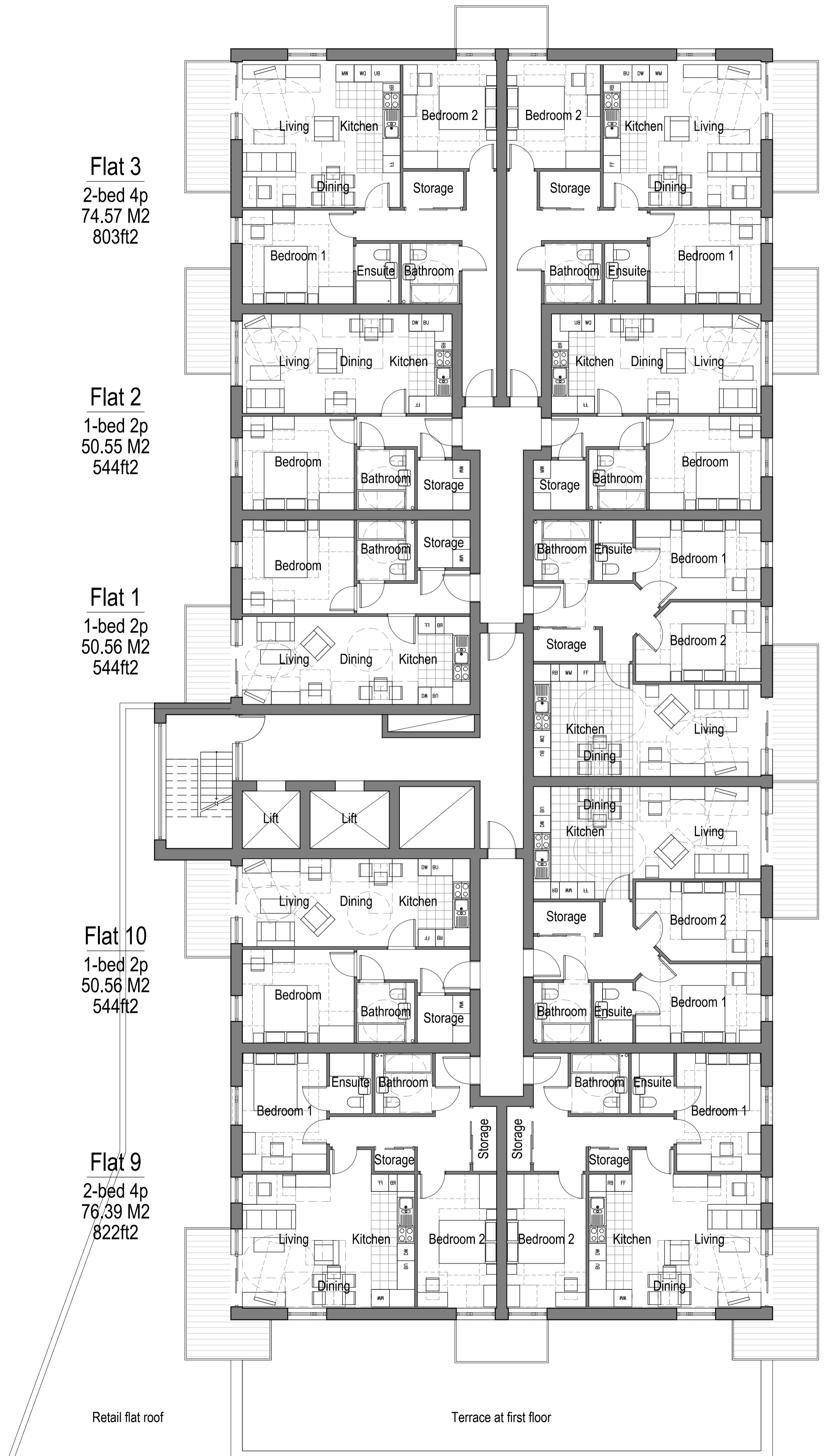
PRC Architecture & Planning



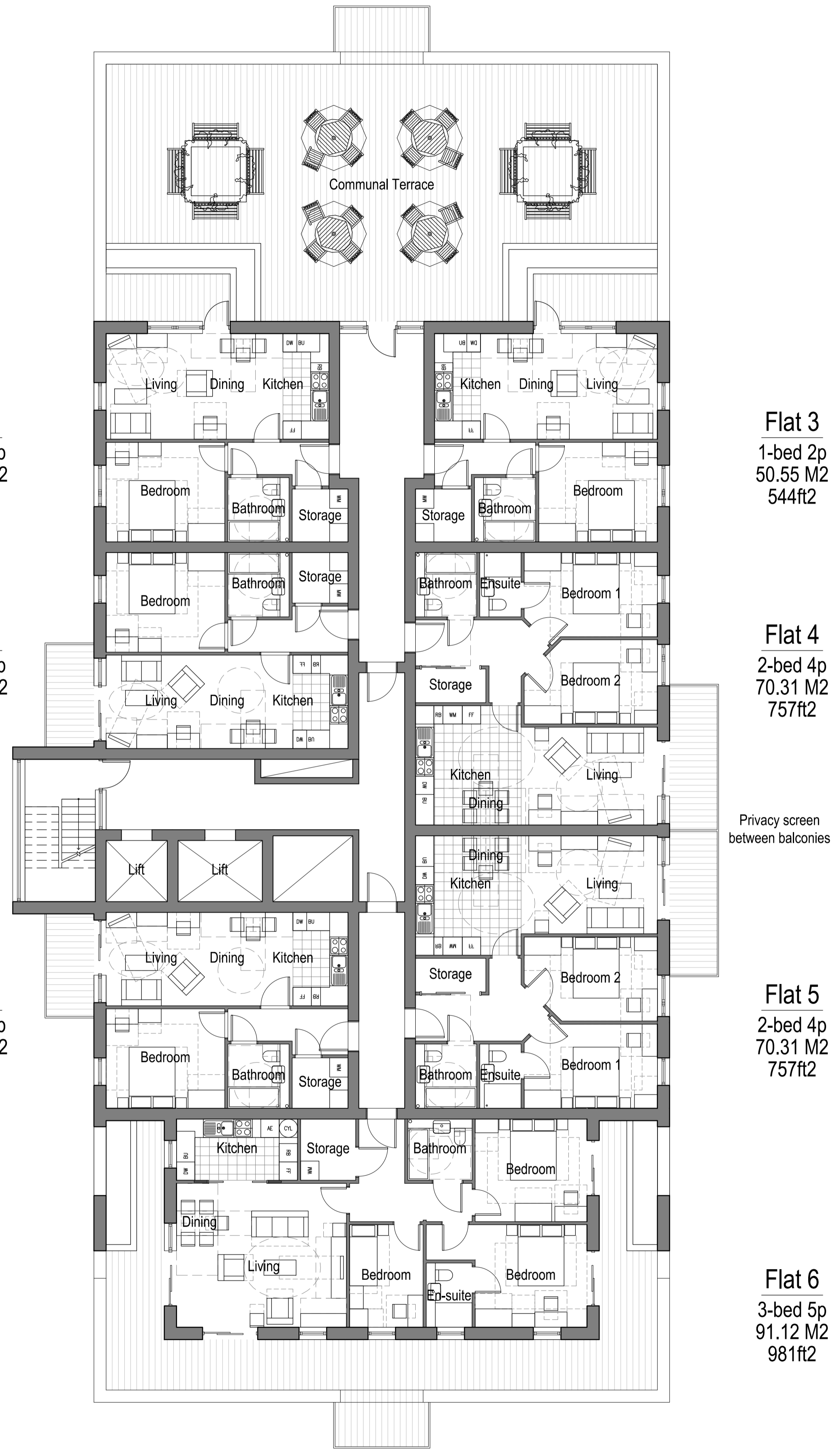
Figured dimensions only are to be used. All dimensions to be checked onsite. Differences between drawings and between drawings and specification or bills of quantities to be reported to the PRC Group.

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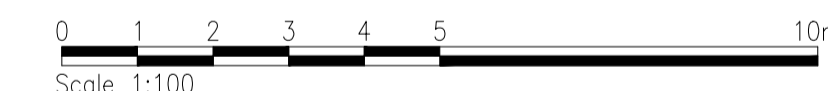
Revisions: Drawn / Chkd: Date:
 Rev A: Windows / balconies adjusted. MAC 220416
 Top floor plan reconfigured



1st - 7th floors



8th floor



Scale 1:100
 Client: ST MODWEN



Project: EDMONTON GREEN SHOPPING CENTRE, ENFIELD, N9 0HW

24 Church St West,
 Woking, Surrey,
 GU24 6HT
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 info@prc-group.com
 www.prc-group.com

Drawing Title: FIRST TO EIGHTH FLOOR PLANS

Architecture
 Planning
 Master Planning
 Urban Design
 Interiors

Scale @ A1: 1:100
 Checked by: MAC
 Date: Sep 2015

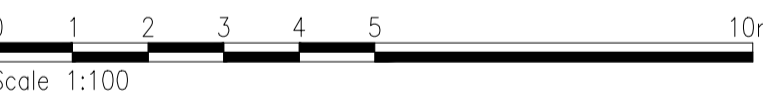
Job No: 10014
 Stage: PL 102
 Drawing No: A

Issue Status:
 Construction Preliminary
 Information Approval
 Tender

Offices
 Woking
 London
 Milton Keynes
 Warsaw



- Materials:**
- Roof** - Flat roof, single ply membrane
 - Aluminium fascia profile. Powder coated light grey
 - Walls** - Light grey multi stock brick
 - Aluminium cladding panels. Powder coated mid grey, green, white, & cream to match shopping centre panelling
 - Windows** - Aluminium frames. Powder coated light grey
 - Balconies** - Glass panels
 - Stainless steel handrails
 - Aluminium fascia panels. Powder coated white



Client:
ST MODWEN



Project:
EDMONTON GREEN SHOPPING CENTRE, ENFIELD, N9 0HW

24 Church St West,
Woking, Surrey,
GU24 6HT
01483 494 350
info@prc-group.com
www.prc-group.com

Drawing Title:
WEST ELEVATION

Architecture
Planning
Master Planning
Urban Design
Interiors

Scale @ A1: 1:100
Checked by: MAC
Date: Sep 2015

Job No: 10014
Stage: PL
Drawing No: 104
Rev: A

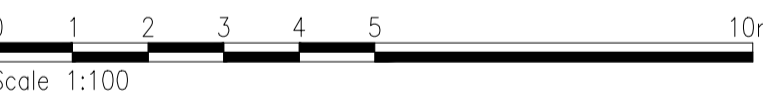
Issue Status:

Construction Preliminary
Information Approval
Tender

Offices
Woking
London
Milton Keynes
Warsaw



- Materials:**
- Roof** - Flat roof, single ply membrane
 - Aluminium fascia profile. Powder coated light grey
 - Walls** - Light grey multi stock brick
 - Aluminium cladding panels. Powder coated mid grey, green, white, & cream to match shopping centre panelling
 - Windows** - Aluminium frames. Powder coated light grey
 - Balconies** - Glass panels
 - Stainless steel handrails
 - Aluminium fascia panels. Powder coated white



Scale 1:100
 Client: ST MODWEN

Project: 24 Church St West, Woking, Surrey, GU21 6HT
 01483 494 350
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Drawing Title: NORTH ELEVATION



Scale @ A1: 1:100	Checked by: MAC	Date: Sep 2015
Job No: 10014	Stage: PL 105	Rev: A

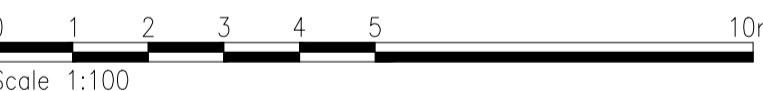
Issue Status:
 Construction Preliminary
 Information Approval
 Tender

Architecture
 Planning
 Master Planning
 Urban Design
 Interiors

Offices
 Woking
 London
 Milton Keynes
 Warsaw



- Materials:**
- Roof** - Flat roof, single ply membrane
 - Aluminium fascia profile. Powder coated light grey
 - Walls** - Light grey multi stock brick
 - Aluminium cladding panels. Powder coated mid grey, green, white, & cream to match shopping centre panelling
 - Windows** - Aluminium frames. Powder coated light grey
 - Balconies** - Glass panels
 - Stainless steel handrails
 - Aluminium fascia panels. Powder coated white



Client:
ST MODWEN



Project:
EDMONTON GREEN SHOPPING CENTRE, ENFIELD, N9 0HW

24 Church St West,
Woking, Surrey,
GU23 6HT
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www.prc-group.com

Drawing Title:
EAST ELEVATION

Scale @ A1: 1:100	Checked by: MAC	Date: Sep 2015	Architecture Planning Master Planning Urban Design Interiors
Job No: 10014	Stage: PL 106	Rev: A	
Issue Status:			Offices Woking London Milton Keynes Warsaw
Construction Information	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Approval	
Tender	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
PRC Architecture & Planning			





LONDON BOROUGH OF ENFIELD

Addendum to Planning Committee Report

Date : 19/07/2016

Ref: 15/04513/FUL

LOCATION: Monmouth Road Car Park, 35-36 North Square And North Mall, Edmonton Shopping Centre, London

PROPOSAL: Erection of a 9-storey block to provide 77 residential units (comprising 32 x 1 bed, 44 x 2 bed and 1 x 3 bed flats) with balconies to front and rear elevations and solar panels to roof involving reduction in parking spaces and the reconfiguration of car park, conversion of vacant first floor commercial space (Class B1) to provide 5 x 3-bed residential units with amenity deck and refurbishment of North Mall retail thoroughfare.

1. The mix of units reported in the committee report was the mix which was originally submitted, the correct mix of units in the revised new block is 32 x 1 bed, 44 x 2 bed and 1 x 3 bed.
2. It was understood from the submission documents that the proposed office conversion resulting in five units was also intended to be PRS, however it has since been clarified that these 5x3 bed units are intended as market housing.
3. In relation to the PRS scheme officers considered that there should be a viability review at the end of the agreed 15 years to be retained as PRS, however this has not been agreed by both parties and will be resolved in further discussions following the committee. It has however been agreed by both parties that the PRS would be retained for 15 years and should market circumstances change, and the applicant was to convert the units to market sale it has been agreed by both parties that a viability assessment would be undertaken at that stage. If viewed in isolation the small development of five units would not qualify for an affordable housing contribution in itself following the High Court ruling.
4. It is noted that the block provides 142sqm communal amenity space in the form of a terrace at the 8th floor, this was omitted from the committee report.
5. It is noted that there are likely to be minor changes to the conditions and Heads of Terms, for example whilst the HoT's have been set out in the report, the detail including the exact contributions to be paid are still to be finalised, similarly the triggers for the submission of conditions are still to be agreed. Delegated authority is requested to enable this to be completed.

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